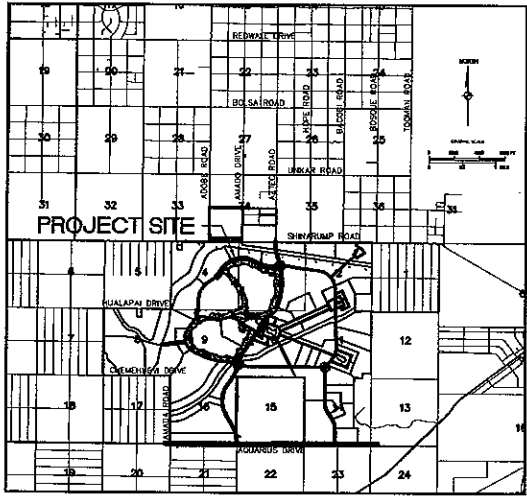
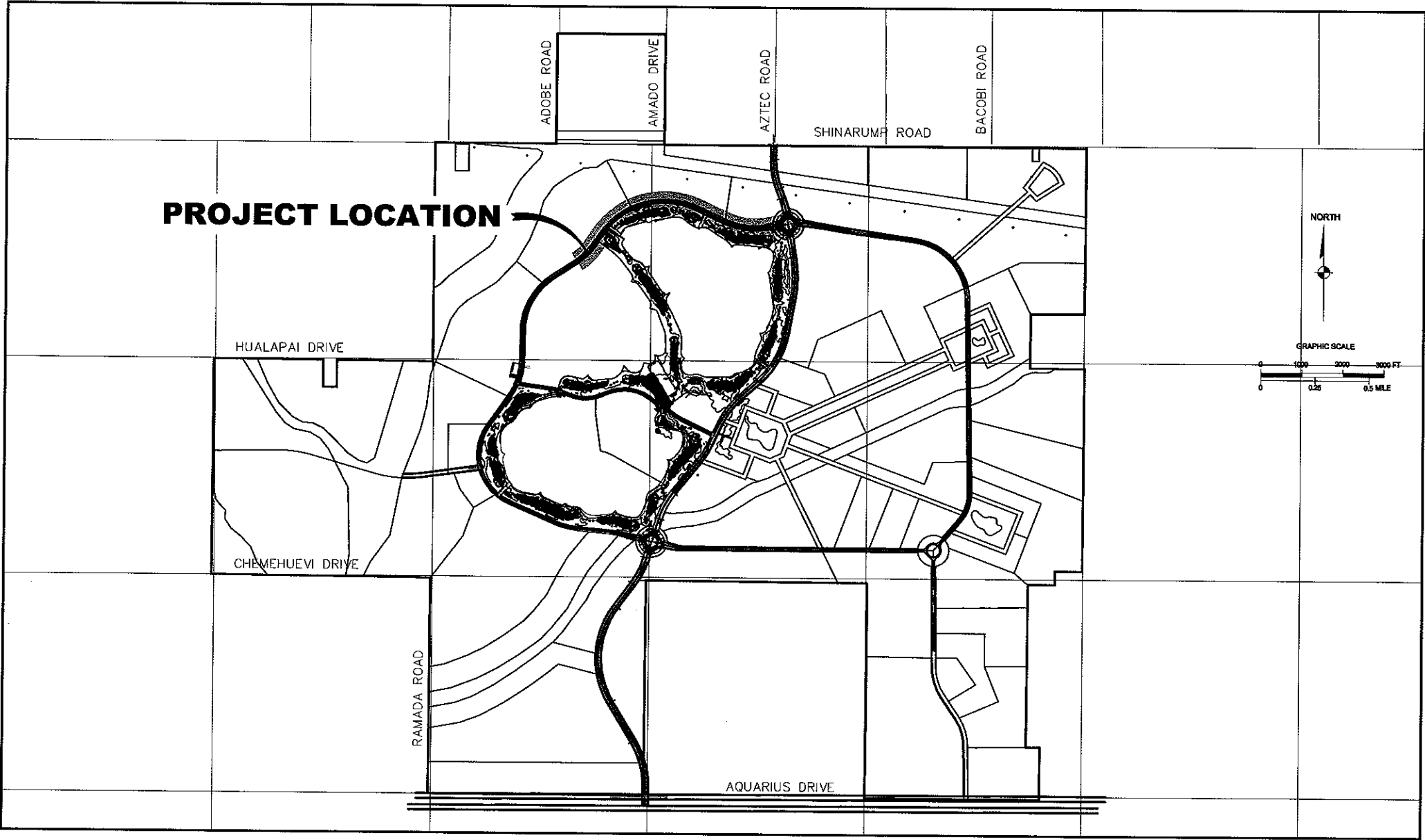


WEST LOOP ROAD IMPROVEMENTS, PHASE 1  
AT GOLDEN VALLEY RANCH FOR  
RHODES HOMES ARIZONA, LLC



VICINITY MAP

**OWNER**  
SOUTH DAKOTA CONSERVANCY LLC  
4730 S. FORT APACHE RD  
SUITE 300  
LAS VEGAS, NEVADA 89147  
(702) 873-5538

**DEVELOPER**  
RHODES HOMES ARIZONA LLC  
2215 HUALAPAI MTN. RD.  
SUITE H  
KINGMAN, ARIZONA 86401  
(928) 718-2210

**ENGINEER / SURVEYOR**  
STANLEY CONSULTANTS, INC.  
5820 S. EASTERN AVENUE  
SUITE 200  
LAS VEGAS, NEVADA 89119  
(702) 369-9396

**LEGAL DESCRIPTION**  
A DIVISION OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4  
OF SECTION 34, TOWNSHIP 21 NORTH, RANGE 18 WEST,  
GILA AND SALT RIVER MERIDIAN, MOHAVE COUNTY, ARIZONA

**BASIS OF BEARINGS**  
NORTH 00°12'47" EAST - THE EAST LINE OF THE SOUTHEAST QUARTER (SE 1/4)  
OF SECTION 27, TOWNSHIP 21 NORTH, RANGE 18 WEST, GILA & SALT RIVER  
MERIDIAN, MOHAVE COUNTY, ARIZONA, AS DETERMINED BY THE ARIZONA  
COORDINATE SYSTEM OF 1983 (AZ83-WF), WEST ZONE, INTERNATIONAL FOOT,  
UTILIZING FAST STATIC OBSERVATIONS PROCESSED BY NGS-OPUS. M.C.S.D. "SD  
35" = LATITUDE 35°09'22.43032"N, LONGITUDE 114°10'58.56309"W (NAD '83)  
HEIGHT 2466.568241ft (NAVD'88)

**BENCHMARK**  
BENCHMARK # "AZT 5" M.C.S.D.  
ELEVATION = 2659.4681ft (NGVD '29)  
CONVERSION = 2662.0141ft (NAVD '88) - 2.546 = 2659.4681ft (NGVD '29)  
DESCRIPTION: 1 1/2" ALUMINUM CAP IN CONCRETE STAMP MOHAVE COUNTY  
1999 "RLS 10343", LOCATED AT THE SOUTHWEST CORNER OF AZTEC ROAD &  
BOLSA DRIVE.

SHEET INDEX

COVER	COVER SHEET	1 OF 20
G-1	GENERAL NOTES AND ABBREVIATIONS	2 OF 20
DT-1, DT-2	DETAIL SHEET	3 & 4 OF 20
HC-1 TO HC-3	HORIZONTAL CONTROL	5 TO 9 OF 20
PP-1 TO PP-5	PLAN AND PROFILE	10 TO 14 OF 20
UT-1 TO UT-5	UTILITY PLAN AND PROFILE	15 TO 17 OF 20
TC-1 TO TC-3	TRAFFIC CONTROL SHEET	18 TO 20 OF 20
-	-	-
-	-	-
-	-	-

UTILITIES

SEWAGE DISPOSAL:	(TO BE DETERMINED)	
WATER:	(TO BE DETERMINED)	
ELECTRICITY:	UNISOURCE ENERGY	2498 AIRWAY AVENUE (928) 681-4129
TELEPHONE:	FRONTIER COMM.	2202 STOCKTON HILL (928) 753-3000
GAS:	UNISOURCE ENERGY	2498 AIRWAY AVENUE (928) 681-4129
SOLID WASTE COLLECT:	WASTE MANAGEMENT	3250 GATLIN DRIVE (928) 718-4900
SOLID WASTE DISPOSAL:	MOHAVE COUNTY	201 N. 4TH STREET (928) 753-0723
FIRE PROTECTION:	GOLDEN VALLEY DIST.	3327 N. MAYER RD. (928) 565-3479

RHODES HOMES ARIZONA, LLC  
GOLDEN VALLEY RANCH

WEST LOOP ROAD PHASE 1 IMPROVEMENTS  
COVER SHEET

ARIZONA

MOHAVE COUNTY

SHEET  
G-1

1 OF 20 SHEETS

SCS PROJECT#  
18449.03.03

SCALE (H) N.T.S.

SCALE (V) N.T.S.

DRAWN BY ENG

CHECKED BY MPB

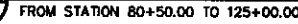
DATE 8/31/05

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Suite 200  
Las Vegas, NV 89119  
(702) 369-9396  
www.stanleygroup.com



Stanley Consultants INC.



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Las Vegas, Nevada 89119  
(702) 368-9396 Fax (702) 368-9793  
[www.stanleygroup.com](http://www.stanleygroup.com)



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**GOLDEN VALLEY RANCH**

**WEST LOOP ROAD PHASE 1 IMPROVEMENTS  
DETAIL SHEET**

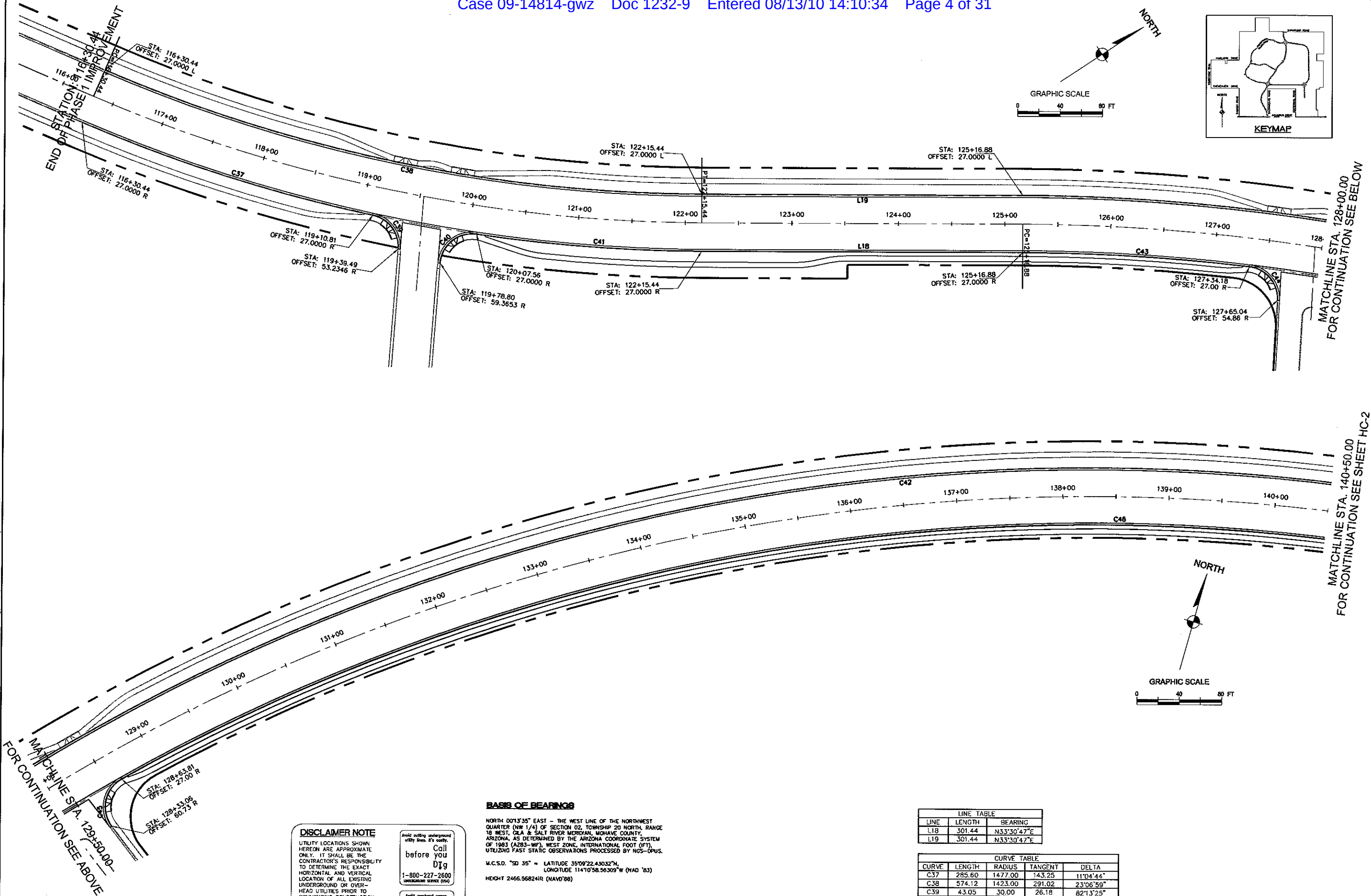
**MOHAVE COUNTY**

**SHEET**  
**DT-1**

16 OF 20 SHEETS  
SCI PROJECT  
18449.03.03



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**DISCLAIMER NOTE**  
UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND OR OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

**Call before you dig**  
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www.callbeforeyoudig.com

**Call before you Overhead**  
1-702-227-2929  
www.callbeforeyouoverhead.com

**BASIS OF BEARINGS**  
NORTH 001°35' EAST - THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 02, TOWNSHIP 20 NORTH, RANGE 18 WEST, GLA & SALT RIVER MERIDIAN, MOHAVE COUNTY, ARIZONA, AS DETERMINED BY THE ARIZONA COORDINATE SYSTEM OF 1983 (AZ83-WF), WEST ZONE, INTERNATIONAL FOOT (FT), UTILIZING FAST STARC OBSERVATIONS PROCESSED BY NGS-OPUS.

M.C.S.D. "SD 35" = LATITUDE 35°09'22.43032"N, LONGITUDE 114°10'58.56309"W (NAD '83)  
HEIGHT 2466.56824ft (NAVD'88)

**BENCHMARK**  
BENCHMARK # "AZT 5" M.C.S.D.  
ELEVATION= 2659.468 IFT (NGVD '29)  
CONVERSION= 2662.014 IFT (NAVD '88) - 2.546 = 2659.468 IFT (NGVD '29)

DESCRIPTION: 1 1/2" ALUMINUM CAP IN CONCRETE  
STAMP MOHAVE COUNTY 1999 "RLS 1034"  
LOCATED AT THE SOUTHWEST CORNER OF AZTEC ROAD & BOLSA DRIVE.

LINE TABLE		
LINE	LENGTH	BEARING
C37	301.44	N33°30'47"E
L18	301.44	N33°30'47"E

CURVE TABLE				
CURVE	LENGTH	RADIUS	TANGENT	DELTA
C37	285.60	1477.00	143.25	11°04'44"
C38	574.12	1423.00	291.02	23°06'59"
C39	43.05	30.00	26.18	82°13'25"
C40	49.19	30.00	32.15	93°57'13"
C41	211.76	1477.00	106.06	8°12'52"
C42	2291.11	1877.00	1312.74	69°56'12"
C43	214.13	1823.00	107.19	6°43'48"
C44	45.23	30.00	28.17	86°23'28"
C45	51.12	30.00	34.28	97°37'24"
C46	1936.39	1823.00	1070.82	60°51'35"

PRELIMINARY ISSUE FOR REVIEW  
NOT FOR CONSTRUCTION 10-18-05

SCALE (H) 1" = 40'

SCALE (V) 1" = 4'

DRAWN BY EMG

CHECKED BY MPB

DATE 8/08/05

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Las Vegas, Nevada 89119  
(702) 240-9335 Fax (702) 385-9793  
www.stanleyconsultants.com

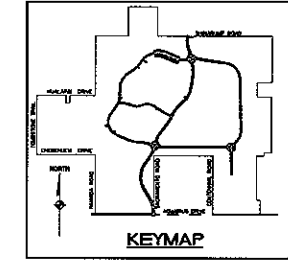
**Stanley Consultants INC.**

RHODES HOMES ARIZONA, LLC  
GOLDEN VALLEY RANCH

WEST LOOP ROAD PHASE 1 IMPROVEMENT  
HORIZONTAL CONTROL STA. 116+30.44 - 140+50  
MOHAVE COUNTY

SHEET  
**HC-1**  
1 OF 20 SHEETS

SCS PROJECT  
18449.03.03



CURVE TABLE				
CURVE	LENGTH	RADIUS	TANGENT	DELTA
C47	278.33	1412.00	139.62	111°7'39"
C48	382.93	2448.34	191.86	8°57'40"
C49	4.71	1.50	INFINITE	180°00'00"
C50	69.49	2860.71	34.75	1°23'30"
C51	104.23	1438.00	52.14	4°09'10"
C52	75.97	3383.59	37.99	1°17'11"
C53	76.07	4141.17	38.04	1°03'09"
C54	382.92	7038.81	191.51	3°07'01"
C55	76.18	5331.64	38.09	0°49'07"
C56	33.37	1823.65	16.68	1°10'39"
C57	36.85	11.41	255.11	185°10'10"
C58	45.80	30.00	28.70	87°27'49"
C59	47.79	30.00	30.67	91°15'49"
C60	17.28	5.50	INFINITE	180°00'00"
C61	59.39	250.50	29.83	13°35'01"
C62	59.27	250.00	29.77	13°35'01"
C63	826.82	1709.96	421.66	27°42'15"
C64	840.11	1737.46	428.44	27°42'15"
C65	855.20	1762.46	434.60	27°42'15"
C66	865.50	1789.96	441.38	27°42'15"

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Las Vegas, Nevada 89119  
(702) 369-9396 Fax (702) 369-9793  
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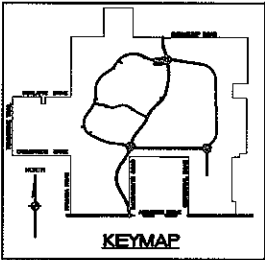
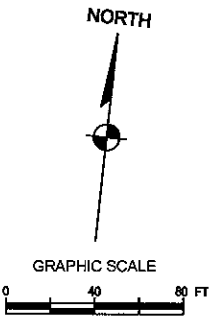
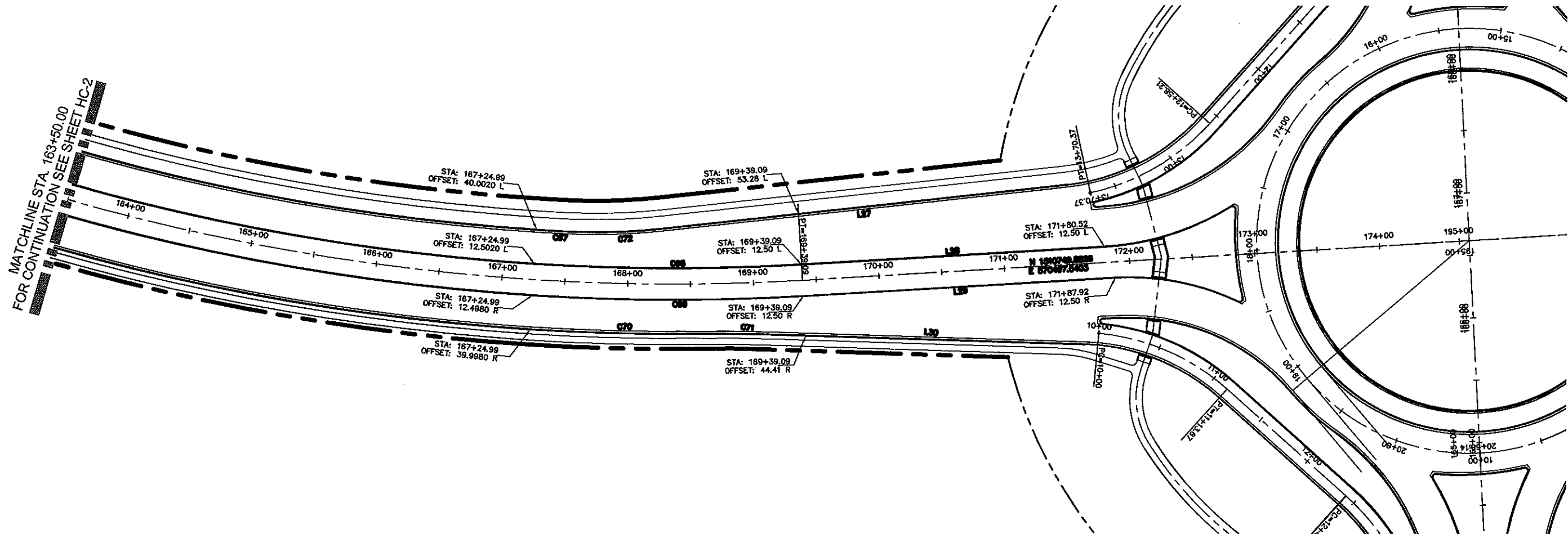
**RHODES HOMES ARIZONA, LLC  
GOLDEN VALLEY RANCH**

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**WEST LOOP ROAD PHASE 1 IMPROVEMENT  
HORIZONTAL CONTROL STA. 140+50 TO 163+50  
ARIZONA**

**MOHAVE COUNTY**

SHEET  
**HC-2**  
2 OF 20 SHEETS  
SCI PROJECT/  
18449.03.03



LINE TABLE		
LINE	LENGTH	BEARING
L27	322.29	N77°32'58"E
L28	241.43	N80°25'29"E
L29	248.84	N80°25'29"E
L30	246.19	S85°36'05"W

CURVE TABLE				
CURVE	LENGTH	RADIUS	TANGENT	DELTA
C67	22.02	1710.00	11.01	0°44'18"
C68	212.56	1737.50	108.41	7°00'33"
C69	215.62	1762.50	107.94	7°00'33"
C70	132.49	1790.00	68.28	4°14'27"
C71	63.05	1900.00	31.53	2°24'29"
C72	79.50	498.00	39.83	9°08'48"

PRELIMINARY ISSUE FOR REVIEW  
NOT FOR CONSTRUCTION 10-18-05

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SCALE (H) 1" = 40'


SCALE (V) 1" = 4'

DRAWN BY ENG

CHECKED BY MFB

DATE 8/06/05

9820 S. Eastern Avenue, Suite 200  
Phoenix, Arizona 85044  
(702) 369-8388 Fax (702) 369-9703  
www.stanleygroup.com

**Stanley Consultants INC.**

**PHOEBE HOMES ARIZONA, LLC**  
**GOLDEN VALLEY RANCH**

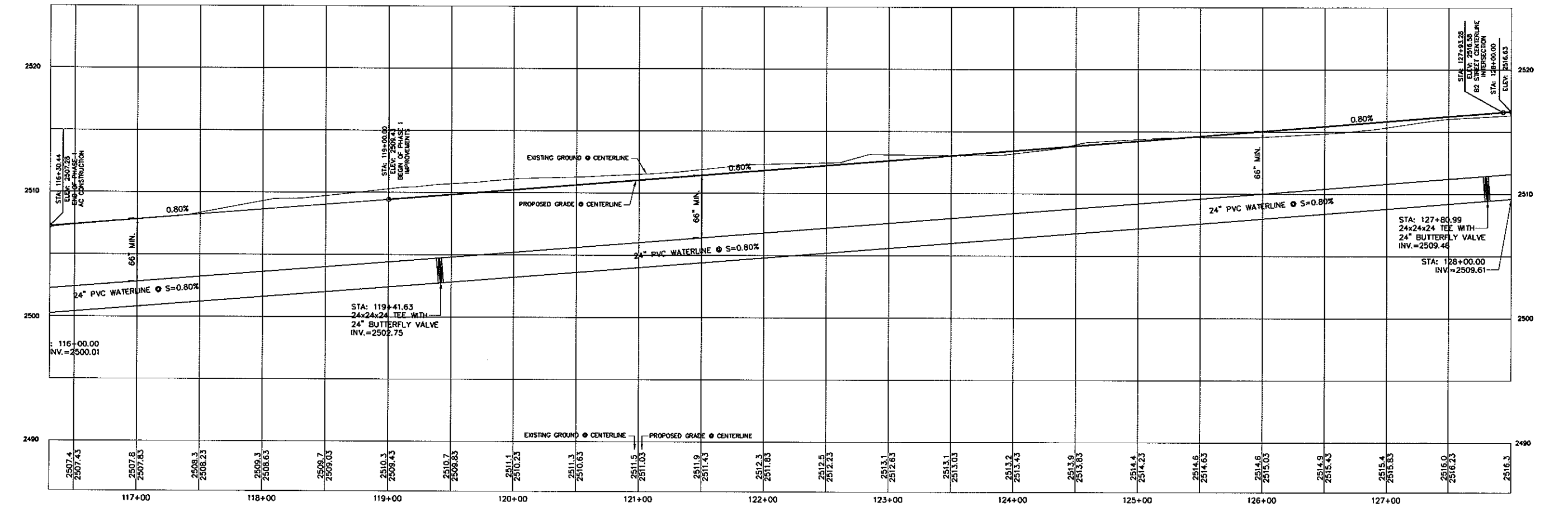
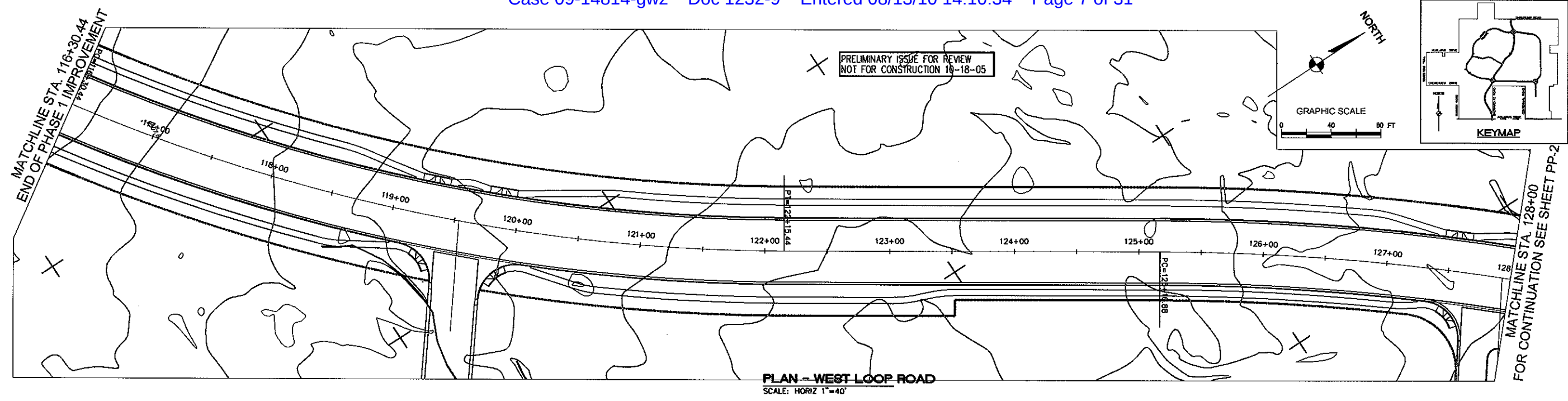
**WEST LOOP ROAD PHASE 1 IMPROVEMENT**  
**HORIZONTAL CONTROL STA 163+50.00 - 175+00.00**  
MARICOPA COUNTY ARIZONA

SHEET  
**HC-3**

3 OF 20 SHEETS

SD PROJECT  
18449.03.03





**DISCLAIMER NOTE**  
UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND OR OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

Call before you dig  
1-800-227-2500  
utility service (USA)

Call before you overhead  
1-702-227-2929  
overhead power line service

**BASIS OF BEARINGS**  
NORTH 001°35' EAST - THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 02, TOWNSHIP 20 NORTH, RANGE 18 WEST, CLM & SALT RIVER MERIDIAN, MOHAVE COUNTY, ARIZONA, AS DETERMINED BY THE ARIZONA COORDINATE SYSTEM OF 1983 (AZ83-WF), WEST ZONE, INTERNATIONAL FOOT (FT), UTILIZING FAST STATIC OBSERVATIONS PROCESSED BY NGS-OPUS.

M.C.S.D. "SD 35" = LATITUDE 35°09'22.43032"N, LONGITUDE 114°10'58.56309"W (NAD '83)  
HEIGHT 2466.56824ft (NAD'83)

**BENCHMARK**  
BENCHMARK # "AZT 5" M.C.S.D.  
ELEVATION= 2659.468 FT (NGVD '29)  
CONVERSION= 2662.014 FT (NAD '83) - 2.546 = 2659.468 FT (NGVD '29)

DESCRIPTION: 1 1/2" ALUMINUM CAP IN CONCRETE  
STAMP MOHAVE COUNTY 1999 "TLS 103A"  
LOCATED AT THE SOUTHWEST CORNER OF AZTEC ROAD & BOLSA DRIVE.

**CONSTRUCTION NOTES**

- 30" ROLL CURB AND GUTTER PER DETAIL NO. 217A ON SHEET DT4
- 24" VERTICAL CURB AND GUTTER PER M.A.G. STD. DETAIL NO. 220 (TYPE A) (SEE DETAIL SHEET DT4)
- 5' CURB TRANSITION PER DETAIL ON SHEET DT3
- CONCRETE SIDEWALK PER M.A.G. STANDARD DETAIL NO. 230 (SEE DETAIL SHEET DT4)
- VALLEY GUTTER PER M.A.G. STANDARD DETAIL NO. 240 (SEE DETAIL SHEET DT4)
- DROP CURB PER DETAIL ON SHEET DT5
- SIDEWALK SCURPER PER M.A.G. STANDARD DETAIL NO. 203 (SEE DETAIL SHEET DT5)

**FEMA FLOOD ZONE**  
FLOOD ZONE DESIGNATION: FEMA-X  
AZTEC AT CHAIR DOES NOT LIE WITHIN A DESIGNATED SPECIAL FLOOD HAZARD AREA.

**PROFILE - WEST LOOP ROAD**  
SCALE: HORIZ 1"=40'  
VERT 1"=4'

**NOTE**  
ALL CONSTRUCTION SHALL CONFORM WITH THE SOILS REPORT PREPARED BY GEO. TEK, INC., DATED APRIL 25, 2008, PROJECT NO. 0821-LV9.

- Retaining and block wall footing depths should match the Geotechnical Evaluation. Since the footing depth depends upon the soils expansive nature and this is subject to grading and testing at the time of final construction. See the Geotechnical Report for more information.
- Retaining and block walls require barrier protection reference IBC. See the Geotechnical Report for more information.

**LEGEND**

- EXISTING GRADE
- TOP OF CURB STATIONING
- FUTURE GRADE
- TOP OF RET. WALL/TOP OF FTG.
- FLOWLINE ELEVATION
- CENTERLINE FINISHED GRADE ELEVATION
- TOP OF CURB ELEVATION
- RATE & DIRECTION OF SLOPE
- RETAINING WALL
- PERIMETER BLOCK WALL
- PROPERTY LINE
- EDGE OF PAVEMENT
- SIDEWALK
- SUBDIVISION BOUNDARY
- CURB AND GUTTER
- SITE VISIBILITY RESTRICTION ZONE
- LOT NUMBER
- RIGHT OF WAY
- GRADE BREAK
- CENTER LINE
- SCARP (3:1 MAX.)
- FINISH FLOOR ELEVATION
- PAD ELEVATION
- EXISTING CONTOUR

FF: 48.9  
PAD: 48.0

SCALE (H) 1"=40'  
SCALE (V) 1"=4'  
DRAWN BY: EMC  
CHECKED BY: MPB  
DATE: 8/30/05

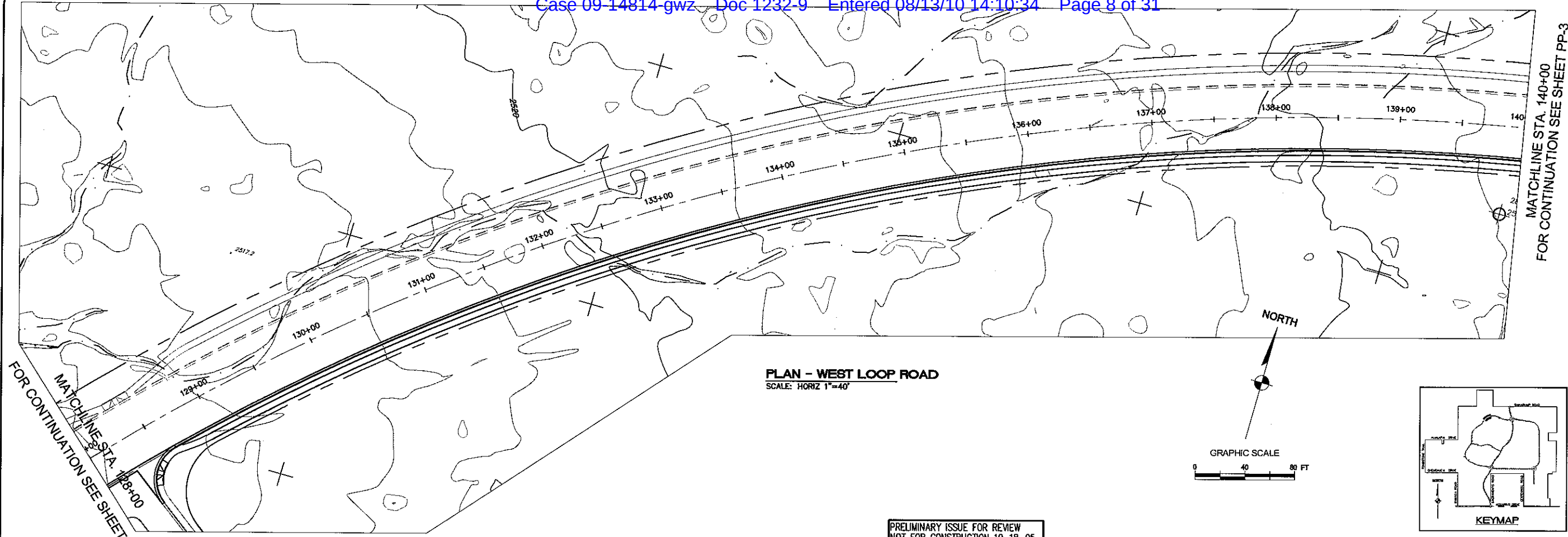
5820 S. Eastern Avenue, Suite 200  
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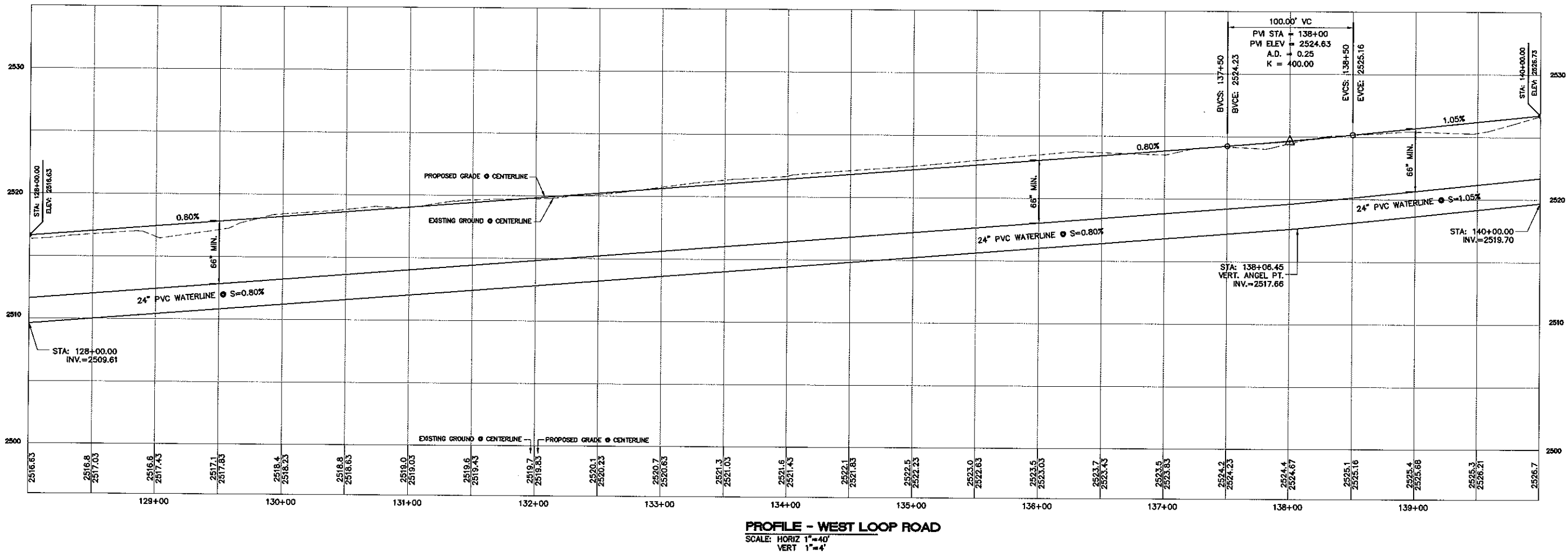
RHODES HOMES ARIZONA, LLC  
GOLDEN VALLEY RANCH

WEST LOOP ROAD PHASE 1 IMPROVEMENTS  
PLAN AND PROFILE - STA. 116+30.44 - 128+00  
MOHAVE COUNTY, ARIZONA

SHEET  
PP-1  
1 OF 20 SHEETS  
SCI PROJECT/  
18449.03.03



PRELIMINARY ISSUE FOR REVIEW  
NOT FOR CONSTRUCTION 10-18-05



DATE	8/30/05
CHECKED BY	MPB
DRAWN BY	ENG
SCALE (V)	1"=4'
SCALE (H)	1"=40'

DATE	8/30/05
CHECKED BY	MPB
DRAWN BY	ENG
SCALE (V)	1"=4'
SCALE (H)	1"=40'

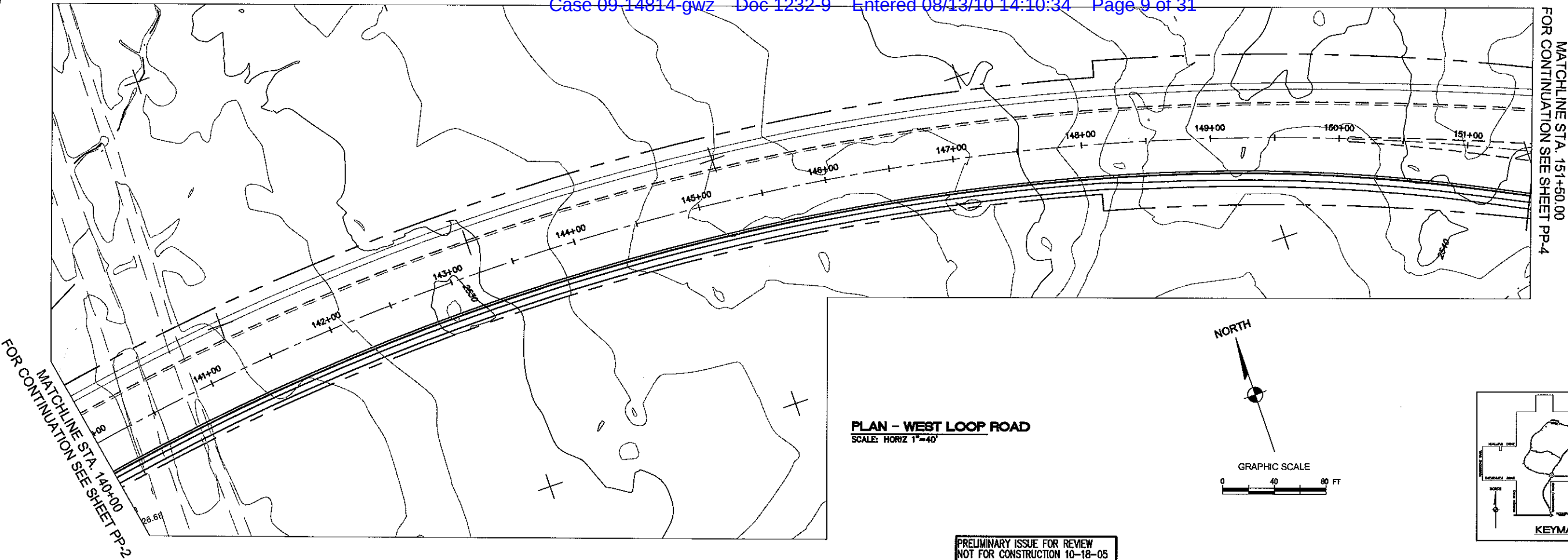
5800 S. Eastern Avenue, Suite 200  
Phoenix, Arizona 85044  
(702) 369-9396 Fax (702) 369-9783  
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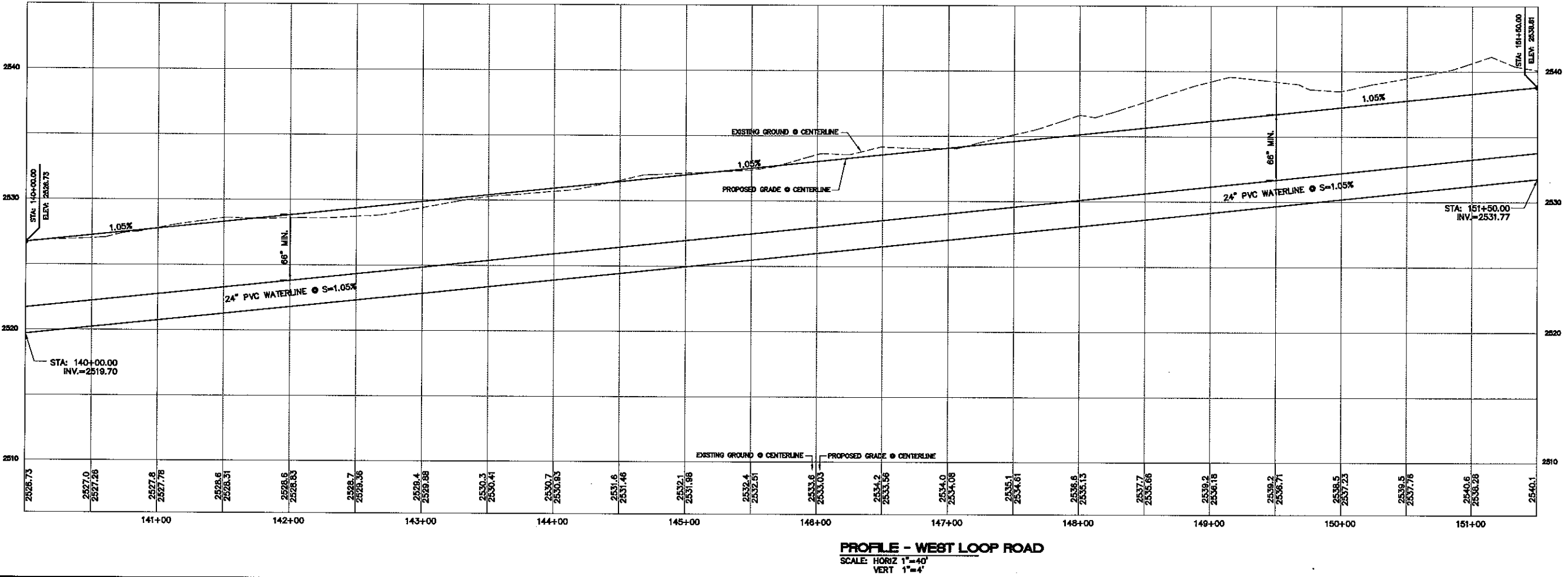
RHODES HOMES ARIZONA, LLC  
GOLDEN VALLEY RANCH  
WEST LOOP ROAD PHASE 1 IMPROVEMENTS  
PLAN AND PROFILE STA. 128+00 - 140+00  
MOHAVE COUNTY ARIZONA

SHEET  
PP-2  
2 OF 20 SHEETS  
SCL PROJECT  
18449.03.03





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NOT FOR CONSTRUCTION 10-18-05



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DATE	BY	REVISION

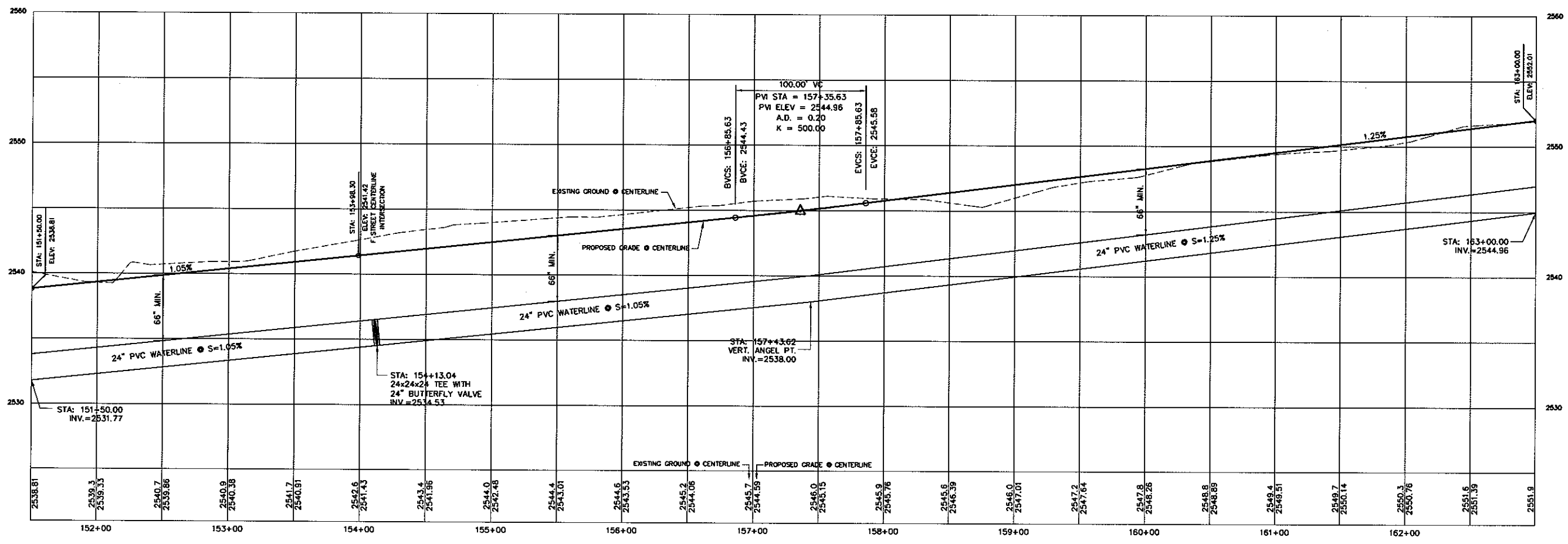
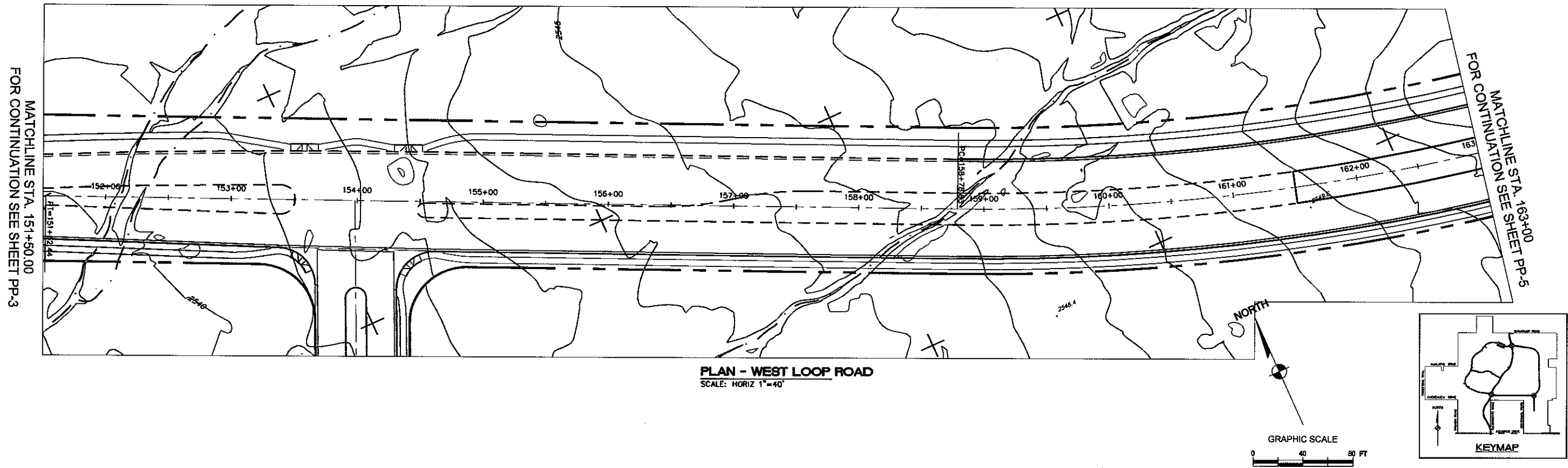
SCALE (H) 1"=40'	SCALE (V) 1"=4'
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DATE 8/30/05	

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Tucson, Arizona 85718  
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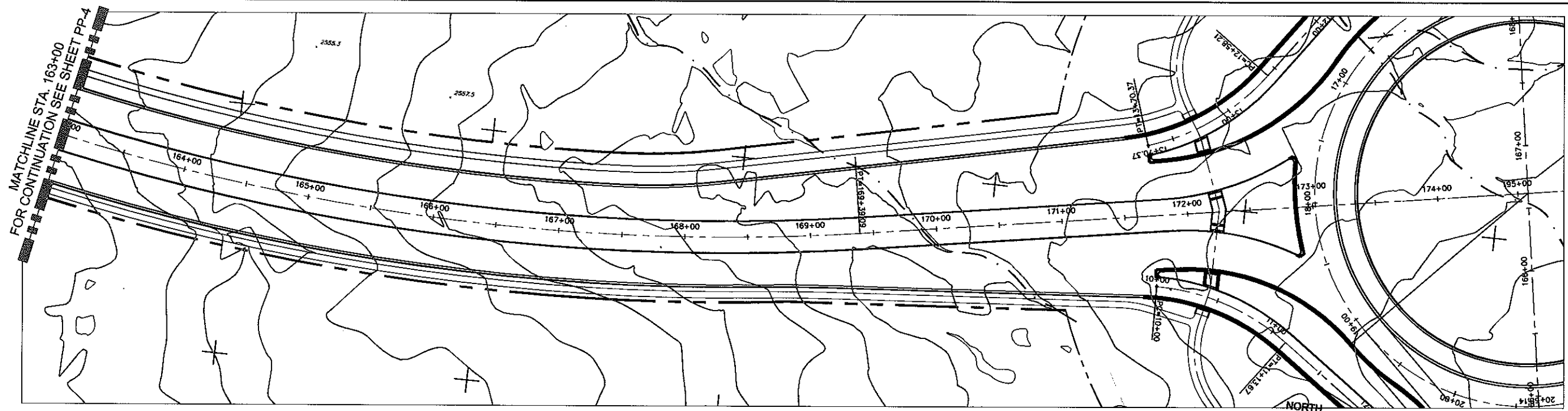
PHOEBES HOMES ARIZONA, LLC  
GOLDEN VALLEY RANCH

WEST LOOP ROAD PHASE 1 IMPROVEMENTS  
PLAN AND PROFILE STA. 140+00 - 151+50.00  
MCNAUL COUNTY ARIZONA



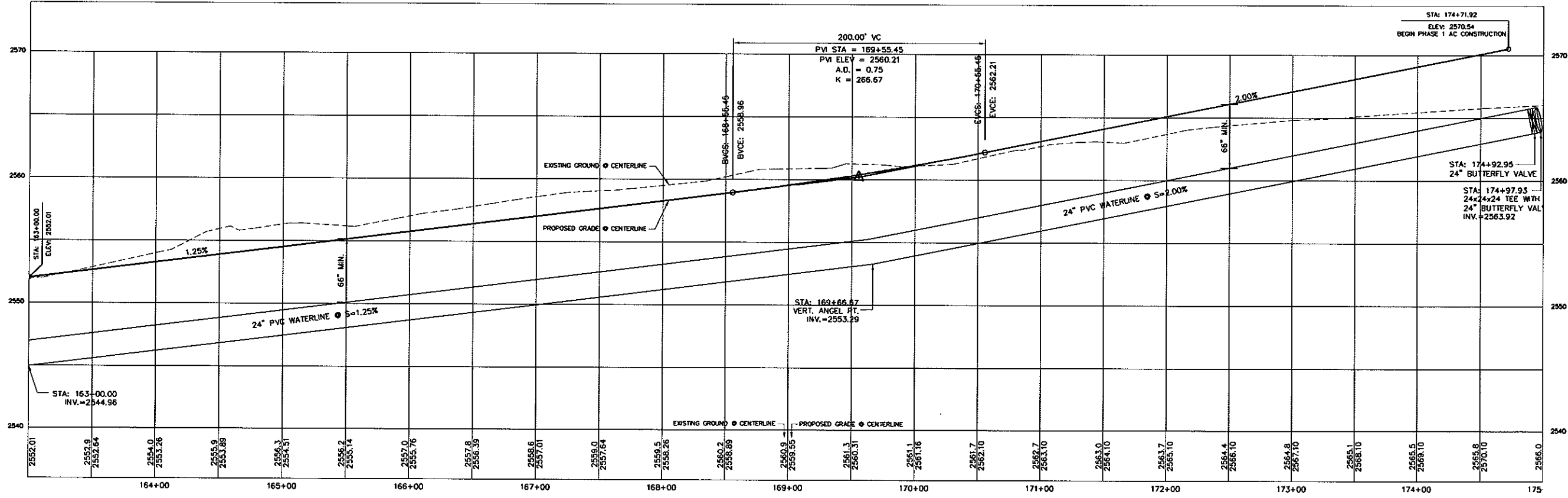
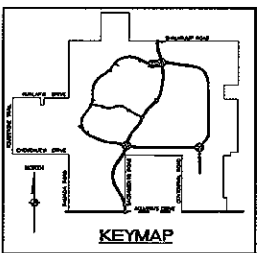
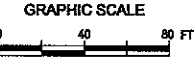
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NOT FOR CONSTRUCTION 10-18-05

SHEET <b>PP-4</b> 4 OF 20 SHEETS	
SCI PROJECT 18449.03.03	
RHODES HOMES ARIZONA, LLC GOLDEN VALLEY RANCH WEST LOOP ROAD PHASE 1 IMPROVEMENTS PLAN AND PROFILE STA. 151+50.00 - 163+00 MOHAVE COUNTY, ARIZONA	
Stanley Consultants inc. 5820 S. Eastern Avenue, Suite 200 Las Vegas, Nevada 89115 (702) 389-0793 www.stanleygroup.com	
SCALE (H) 1"=40'	SCALE (V) 1"=4'
DRAWN BY EAC	CHECKED BY MPB
DATE 8/30/05	



PLAN - WEST LOOP ROAD  
SCALE: HORIZ 1"=40'

PRELIMINARY ISSUE FOR REVIEW  
NOT FOR CONSTRUCTION 10-18-05



PROFILE - WEST LOOP ROAD  
SCALE: HORIZ 1"=40'  
VERT 1"=4'

DATE	BY	REVISION

SCALE (H) 1"=40'  
SCALE (V) 1"=4'  
DRAWN BY EUG  
CHECKED BY MPB  
DATE 8/30/05

5020 S. Eastern Avenue, Suite 200  
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(702) 369-3366 Fax (702) 369-9733  
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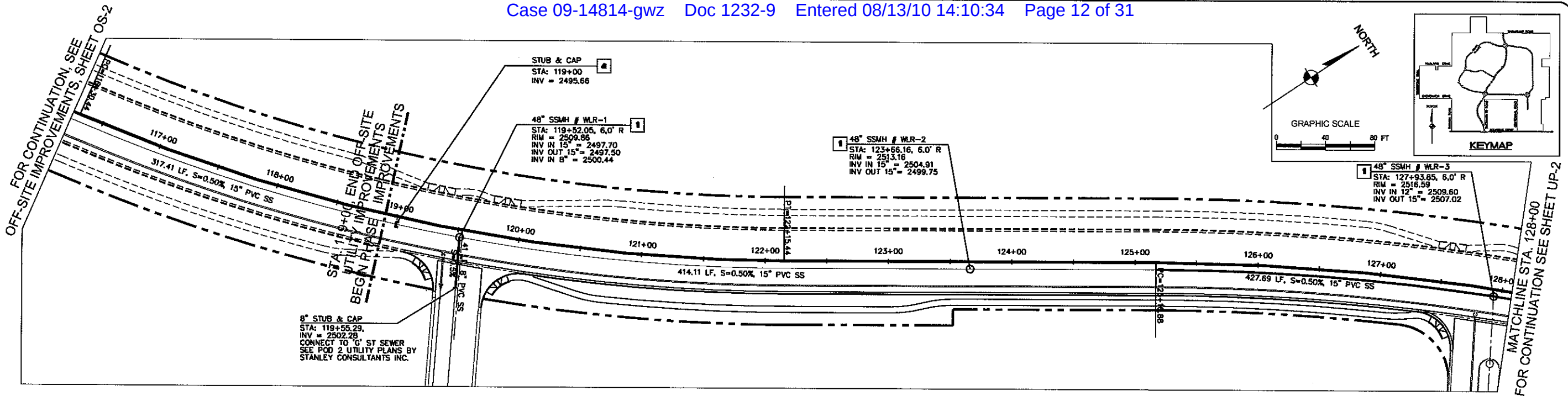


RHODES HOMES ARIZONA, LLC  
GOLDEN VALLEY RANCH  
WEST LOOP ROAD PHASE 1 IMPROVEMENTS  
PLAN AND PROFILE STA. 163+00 - 175+00  
MOHAVE COUNTY ARIZONA

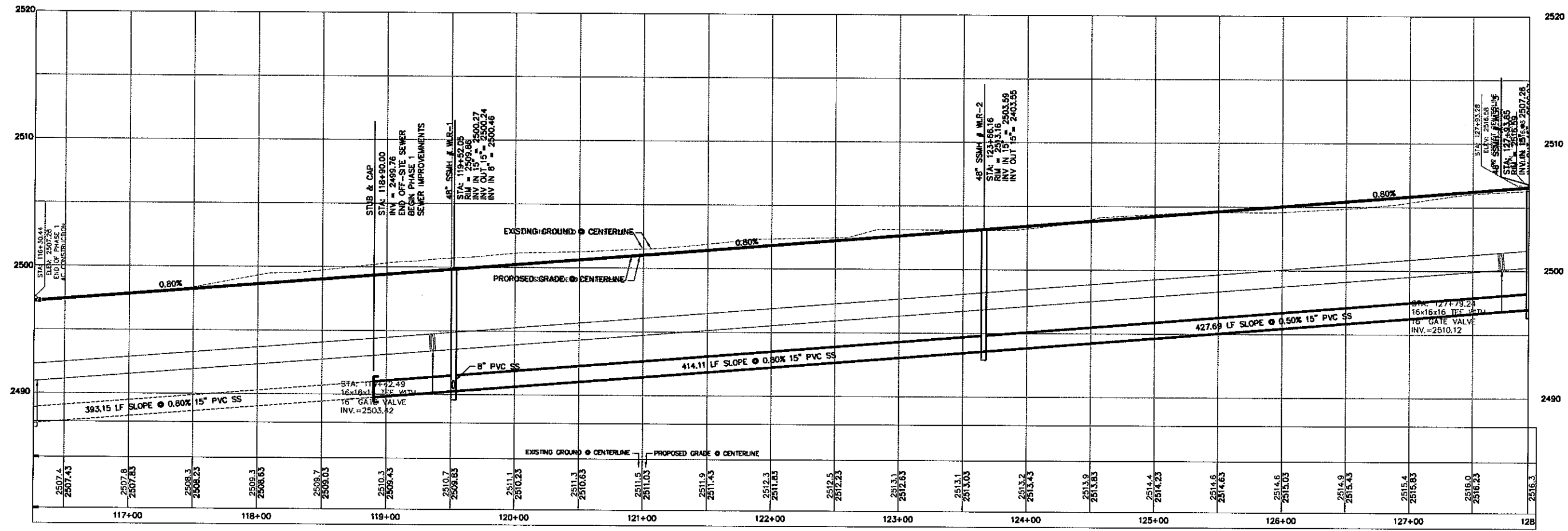
SHEET  
PP-5  
5 OF 20 SHEETS  
SCI PROJECT#  
18449.03.03

Q:\18449\03\PP-5.PLT OF WEST PLAN AND PROFILE PHASE 1 WEST RD PP-5.DWG, 12/2/2005 9:15:26 AM, 1:2:25





PLAN - WEST LOOP ROAD  
SCALE: HORIZ 1"=40'



PROFILE - WEST LOOP ROAD  
SCALE: HORIZ 1"=40'  
VERT 1"=4'

LEGEND

- |                                 |                        |
|---------------------------------|------------------------|
| <b>WATER</b>                    | <b>SEWER</b>           |
| 3/4" WATER MAIN                 | 15" PVC SEWER MAIN     |
| 1" COPPER WATER LATERAL         | 4" PVC SEWER LATERAL   |
| 3/4" DUAL WATER METERS          | 48" STUB AND CAP       |
| 1" COPPER WATER LATERALS        | SEWER BACK WATER VALVE |
| FIRE HYDRANT ASSEMBLY           |                        |
| TEE W/ VALVE                    |                        |
| 2" BLOWOFF ASSEMBLY             |                        |
| GATE VALVE OR BUTTERFLY VALVE   |                        |
| 11 1/4", 22 1/2", 45", 90" BOND |                        |

**NOTE**  
ALL CONSTRUCTION SHALL CONFORM WITH THE  
SOLS REPORT PREPARED BY GEO. TEK., INC.  
DATED APRIL 23, 2008  
PROJECT NO. 5871-LYS

**FEMA FLOOD ZONE**  
FLOOD ZONE DESIGNATION: FEMA-X  
AZTEC CHAN DOES NOT LIE WITHIN  
A DESIGNATED SPECIAL FLOOD HAZARD AREA.

SEWER CONSTRUCTION NOTES

1. INSTALL 48" DIAMETER MANHOLE PER M.A.G. STANDARD DETAIL NO. 420
2. INSTALL 15" PVC SEWER MAIN
3. INSTALL 4" PVC SEWER LATERAL PER M.A.G. STANDARD DETAIL NO. 440
4. INSTALL 15" PVC SEWER STUB & CAP

WATER CONSTRUCTION NOTES

1. INSTALL FIRE HYDRANT ASSEMBLY PER M.A.G. STANDARD DETAIL NO. 350
2. INSTALL 8" x 8" TEE
3. INSTALL 8" GATE VALVE \ VALVES
4. INSTALL 1" COPPER WATER LATERAL W/ 3/4" WATER METER PER CITY OF KINGMAN STANDARD DETAIL NO. 344
5. INSTALL 1" DUAL COPPER WATER LATERALS W/ 3/4" WATER METERS PER CITY OF KINGMAN STANDARD DETAIL NO. 344
6. 8" CAP W/ BLOW-OFF PER M.A.G. STANDARD DETAIL NO. 390
7. INSTALL 8" PVC PIPE CLASS 150 MEETING REQ. OF A.W.W.A. C-900

BASIS OF BEARINGS

NORTH 001°35' EAST - THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 02, TOWNSHIP 20 NORTH, RANGE 18 WEST, CL & SALT RIVER MERIDIAN, MOHAVE COUNTY, ARIZONA, AS DETERMINED BY THE ARIZONA COORDINATE SYSTEM OF 1983 (AZ83-WF), WEST ZONE, INTERNATIONAL FOOT (FT), UTILIZING FAST STATIC OBSERVATIONS PROCESSED BY NGS-OPUS.

M.C.S.D. "SD 35" - LATITUDE 35°09'22.43032"N, LONGITUDE 114°10'58.56309"W (NAD '83)  
HEIGHT 2466.56824m (NAD'83)

BENCHMARK

BENCHMARK # "AZT B" M.C.S.D.  
ELEVATION= 2659.468 FT (NGVD '29)  
CONVERSION= 2662.014 FT (NAD '83) - 2.546 = 2659.468 FT (NGVD '29)  
DESCRIPTION: 1 1/2" ALUMINUM CAP IN CONCRETE  
STAMP MOHAVE COUNTY 1999 "RLS 10343"  
LOCATED AT THE SOUTHWEST CORNER OF AZTEC ROAD & BOLSA DRIVE.

DISCLAIMER NOTE

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND OR OVER-HEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

Call before you dig  
1-800-782-5348  
1-928-753-5591

Call before you Overhead  
1-928-753-5591

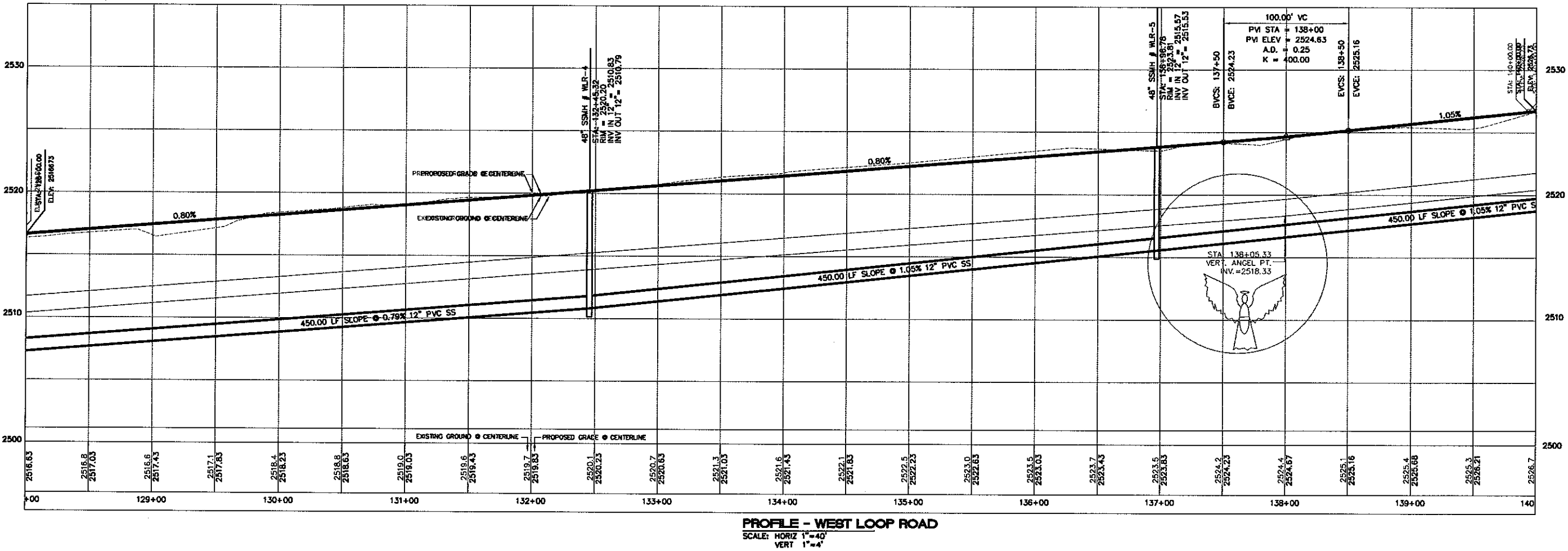
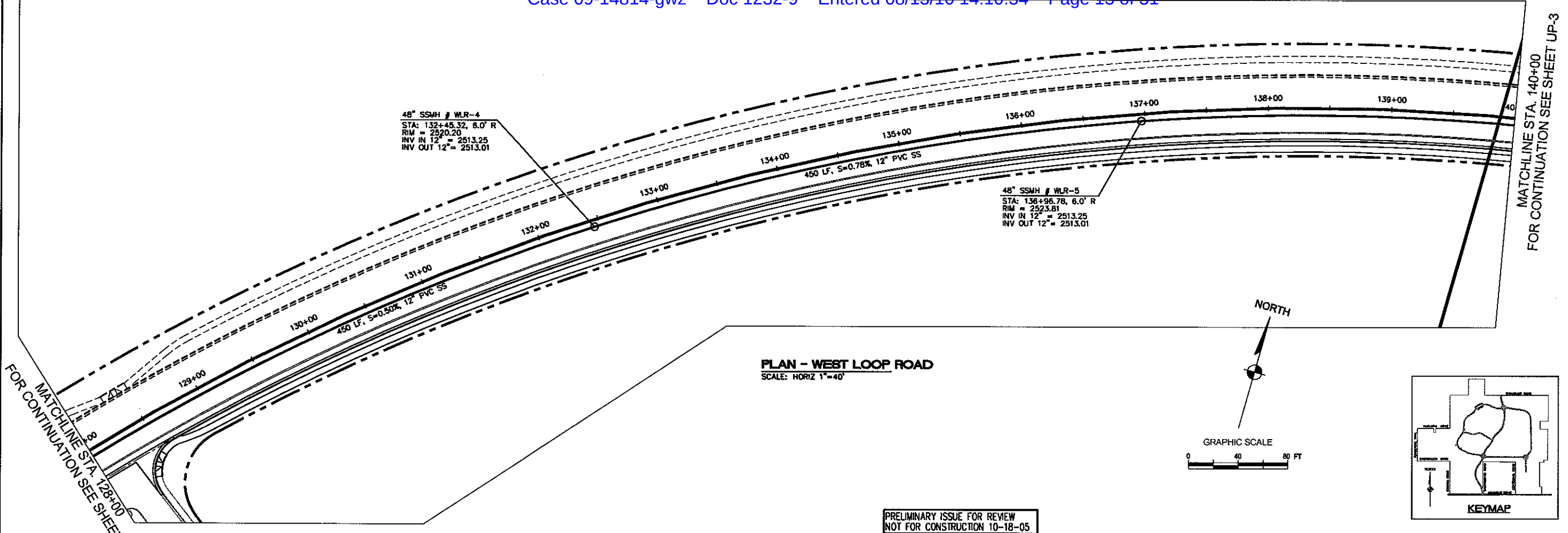
NO.	DESCRIPTION	DATE

SCALE (H) 1"=40'
SCALE (V) 1"=4'
DRAWN BY VND
CHECKED BY MPB
DATE 8/30/05

5800 S. Eastern Avenue, Suite 200  
Las Vegas, Nevada 89113  
(702) 366-9793  
www.stanleyconsultants.com

**Stanley Consultants INC.**

RHODES HOMES ARIZONA, LLC  
GOLDEN VALLEY RANCH  
WEST LOOP ROAD PHASE 1 IMPROVEMENTS  
SEWER PLAN AND PROFILE  
MOHAVE COUNTY, ARIZONA



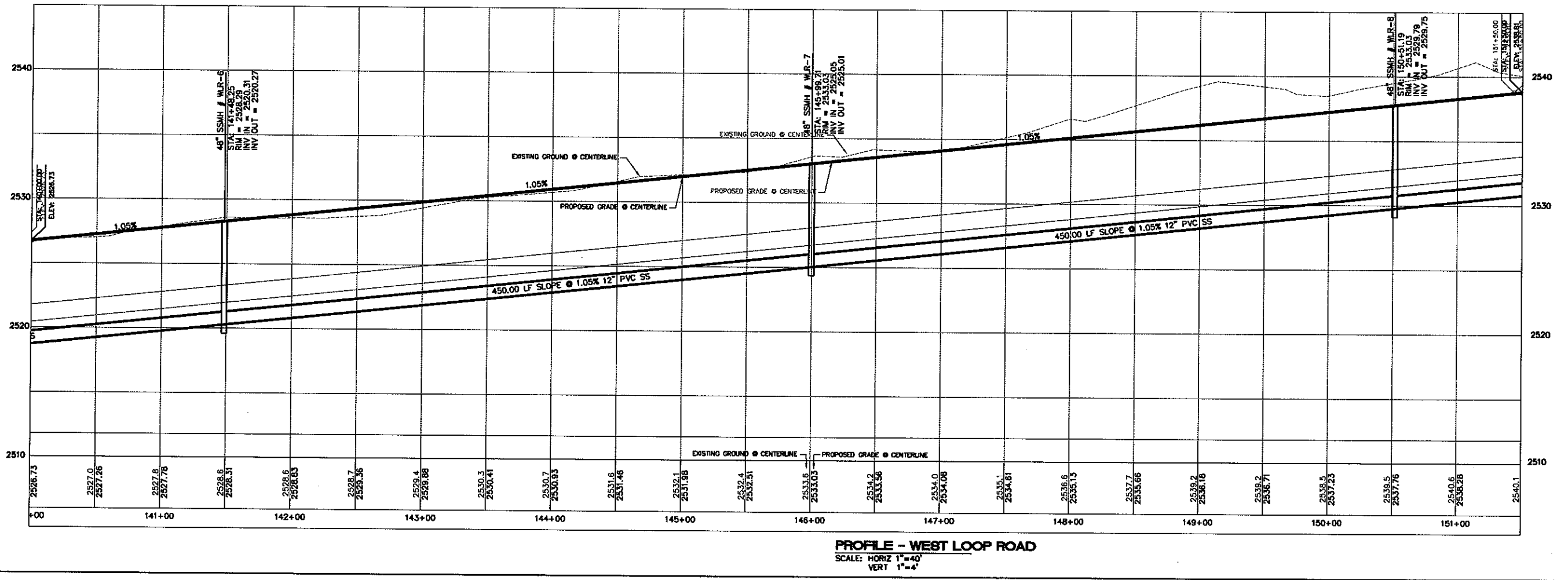
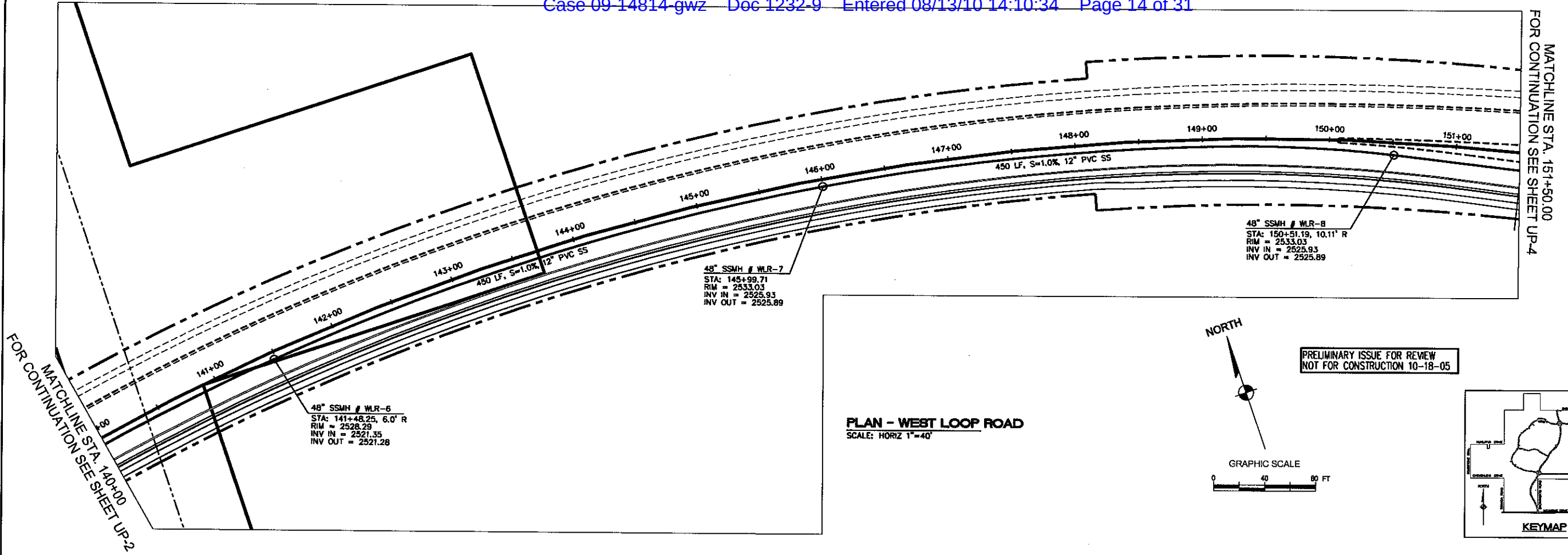
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DRAWN BY VMD		CHECKED BY MPB	
DATE 8/30/05		DATE 8/30/05	

5520 S. Eastern Avenue, Suite 200  
Phoenix, Arizona 85044  
(702) 359-0386 Fax (702) 359-9793  
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**Stanley Consultants INC.**

PHOEBES HOMES ARIZONA, LLC  
GOLDEN VALLEY RANCH  
WEST LOOP ROAD PHASE 1 IMPROVEMENTS  
SEWER PLAN AND PROFILE  
MARICOPA COUNTY ARIZONA

SHEET  
**88-2**  
2 OF 20 SHEETS  
SC PROJECT#  
18449.03.03

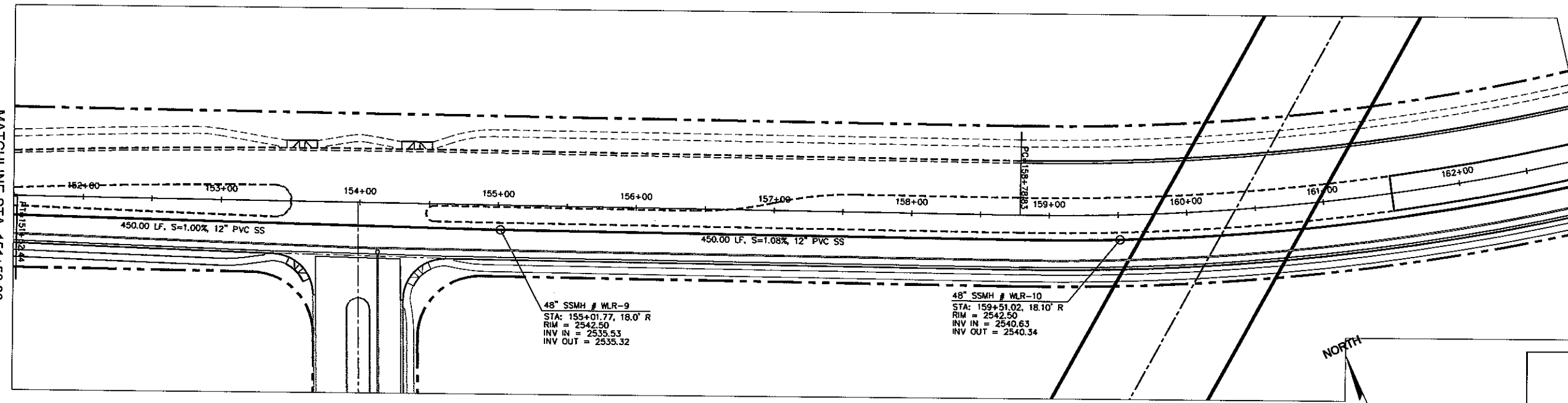


SHEET 33-3	
3 OF 20 SHEETS	
SHEET PROJECT# 18449.03.03	
RHODES HOMES ARIZONA, LLC GOLDEN VALLEY RANCH WEST LOOP ROAD PHASE 1 IMPROVEMENTS SEWER PLAN AND PROFILE MCNAUL COUNTY ARIZONA	
Stanley Consultants INC. 5820 S. Eastern Avenue, Suite 200 Phoenix, Arizona 85110 (602) 998-3550 www.stanleygroup.com	
SCALE (H) 1"=40'	SCALE (V) 1"=4'
DRAWN BY VND	CHECKED BY MPB
DATE 8/30/05	

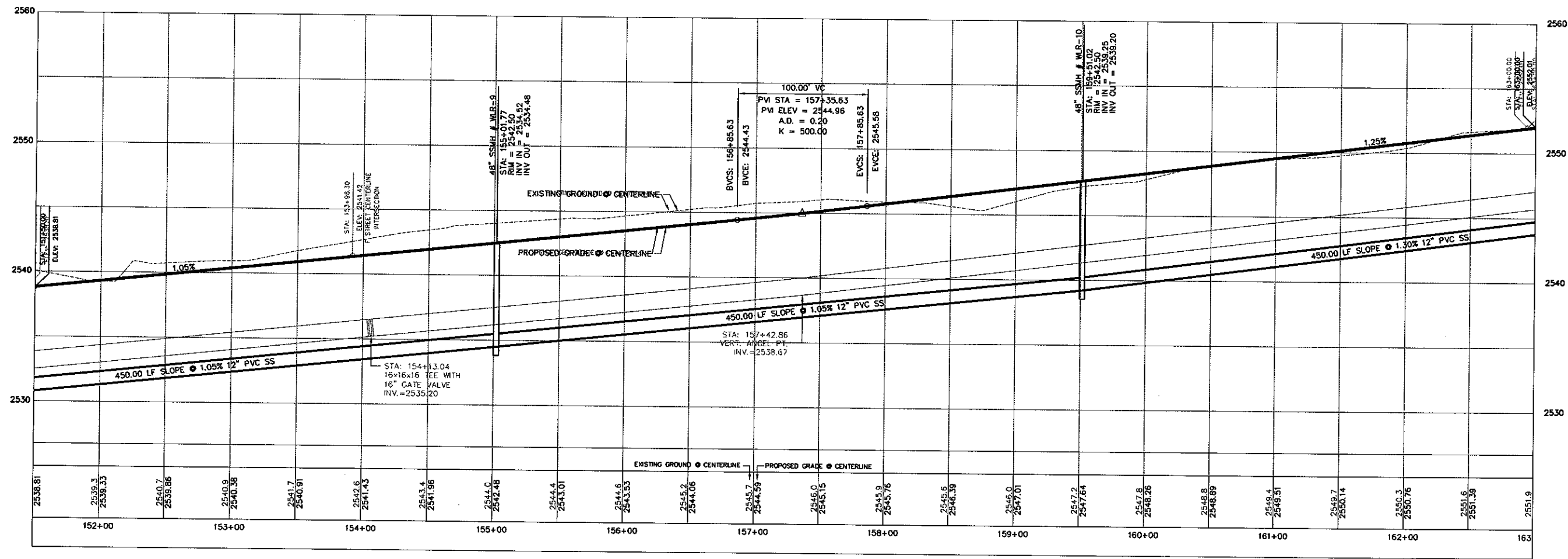
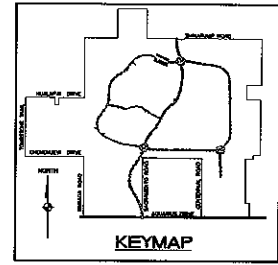


MATCHLINE STA. 151+50.00  
FOR CONTINUATION SEE SHEET UP-3

MATCHLINE STA. 163+00  
FOR CONTINUATION SEE SHEET UP-5



PLAN - WEST LOOP ROAD  
SCALE: HORIZ 1"=40'

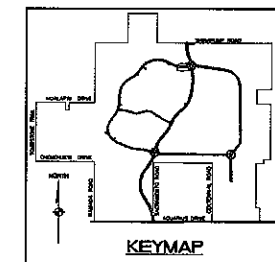
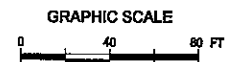


PROFILE - WEST LOOP ROAD  
SCALE: HORIZ 1"=40'  
VERT 1"=4'

PRELIMINARY ISSUE FOR REVIEW  
NOT FOR CONSTRUCTION 10-18-05

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SHEET <b>88-4</b> 4 OF 20 SHEETS	
PROJECT # 18449.03.03	
RHOADS HOMES ARIZONA, LLC GOLDEN VALLEY RANCH	
WEST LOOP ROAD PHASE 1 IMPROVEMENTS SEWER PLAN AND PROFILE	
MCNAUL COUNTY ARIZONA	
Stanley Consultants INC.	
5820 S. Eastern Avenue, Suite 200 Las Vegas, Nevada 89119 (702) 389-7933 www.stanleygroup.com	
SCALE (H) 1"=40'	SCALE (V) 1"=4'
DRAWN BY ENG	CHECKED BY MPB
DATE 8/30/05	

[illegible]

SCALE (H) 1"=40'  
SCALE (V) 1"=4'  
DRAWN BY EMC  
CHECKED BY MPB  
DATE 8/30/05

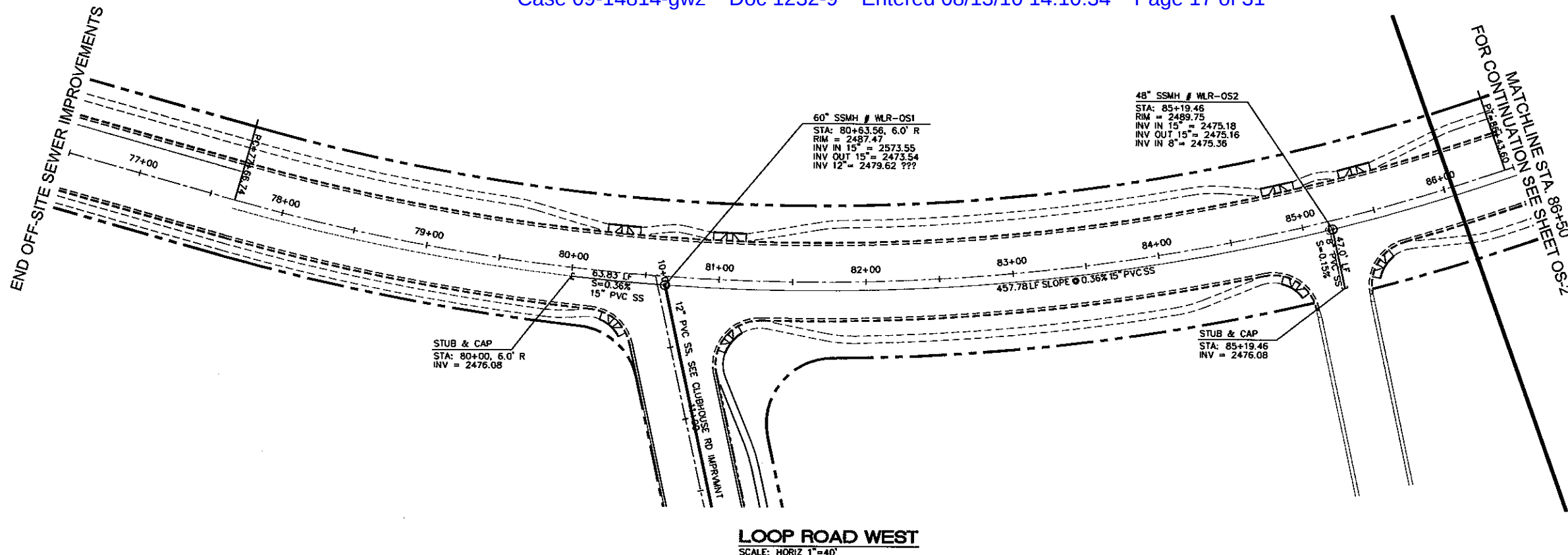
5820 S. Eastern Avenue, Suite 200  
Las Vegas, Nevada 89119  
(702) 369-3396 Fax (702) 369-9793  
[www.slantgroup.com](http://www.slantgroup.com)



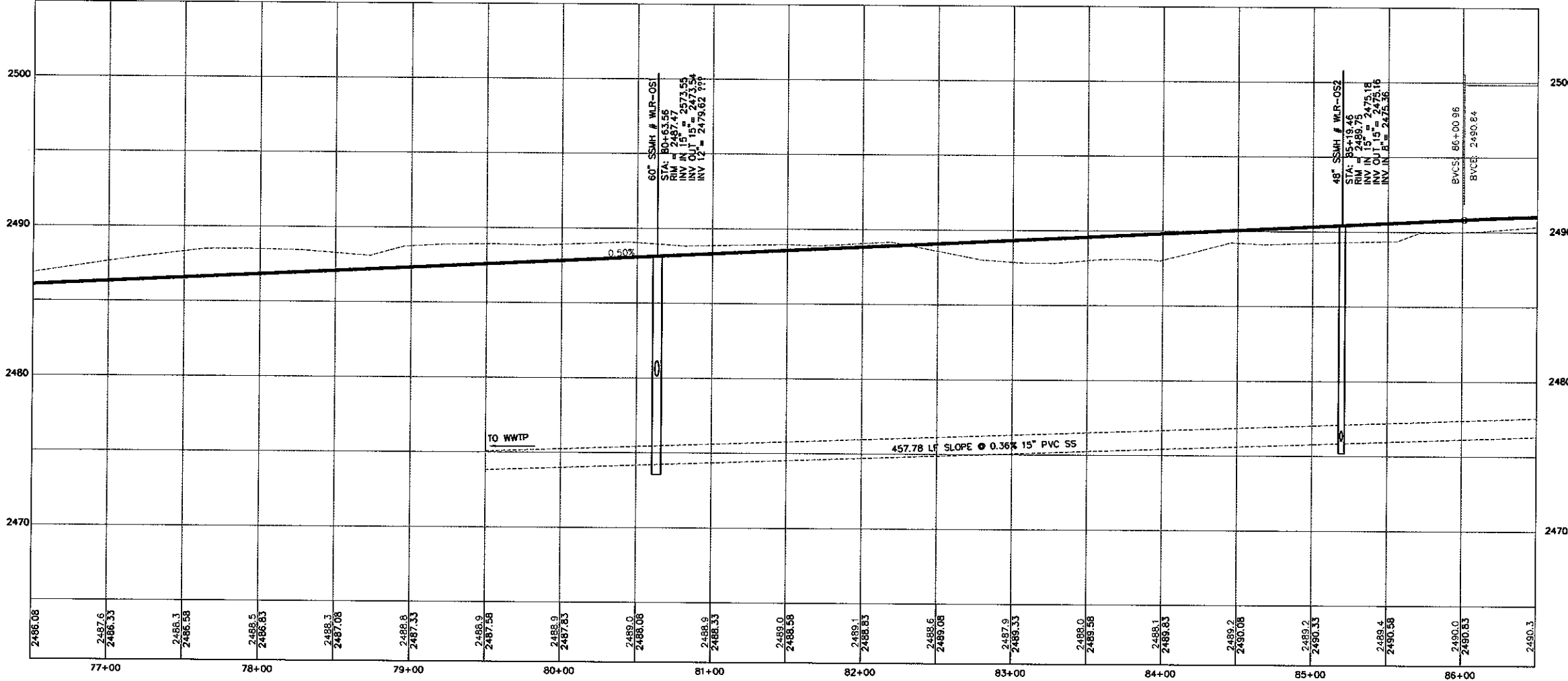
**Stanley Consultants** INC.  
www.stanleygroup.com

**RHODES HOMES ARIZONA, LLC**  
**GOLDEN VALLEY RANCH**

SHEET  
**SS-5**  
5 OF 20 SHEETS  
SCI PROJECT#  
18449.03.03



LOOP ROAD WEST  
SCALE: HORIZ 1"=40'



LOOP ROAD WEST  
SCALE: HORIZ 1"=40'  
VERT 1"=4'

PRELIMINARY ISSUE FOR REVIEW  
NOT FOR CONSTRUCTION 10-18-05

NO.	DESCRIPTION	DATE

SCALE (H) 1"=40'	SCALE (V) 1"=4'
DRAWN BY VND	CHECKED BY MPB
DATE 11/28/05	

5820 S. Eastern Avenue, Suite 200  
Las Vegas, Nevada 89115  
(702) 336-8888 Fax (702) 369-9793  
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RHODES HOMES ARIZONA, LLC  
GOLDEN VALLEY RANCH

WEST LOOP ROAD IMPROVEMENTS  
SEWER PLAN AND PROFILE

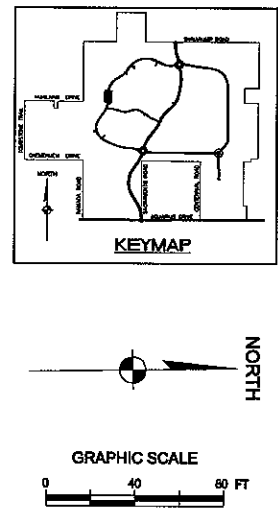
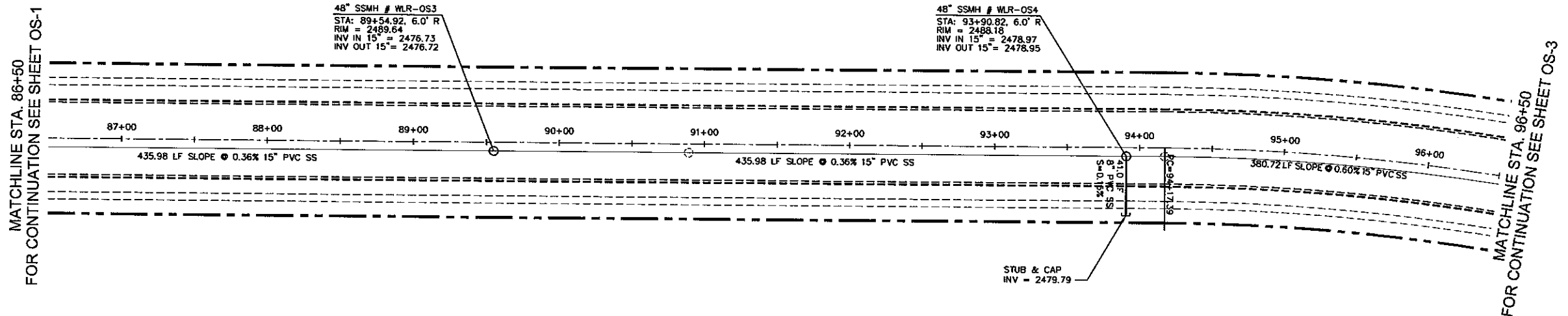
ARIZONA  
MOHAVE COUNTY

SHEET  
**08-1**  
10 OF 20 SHEETS

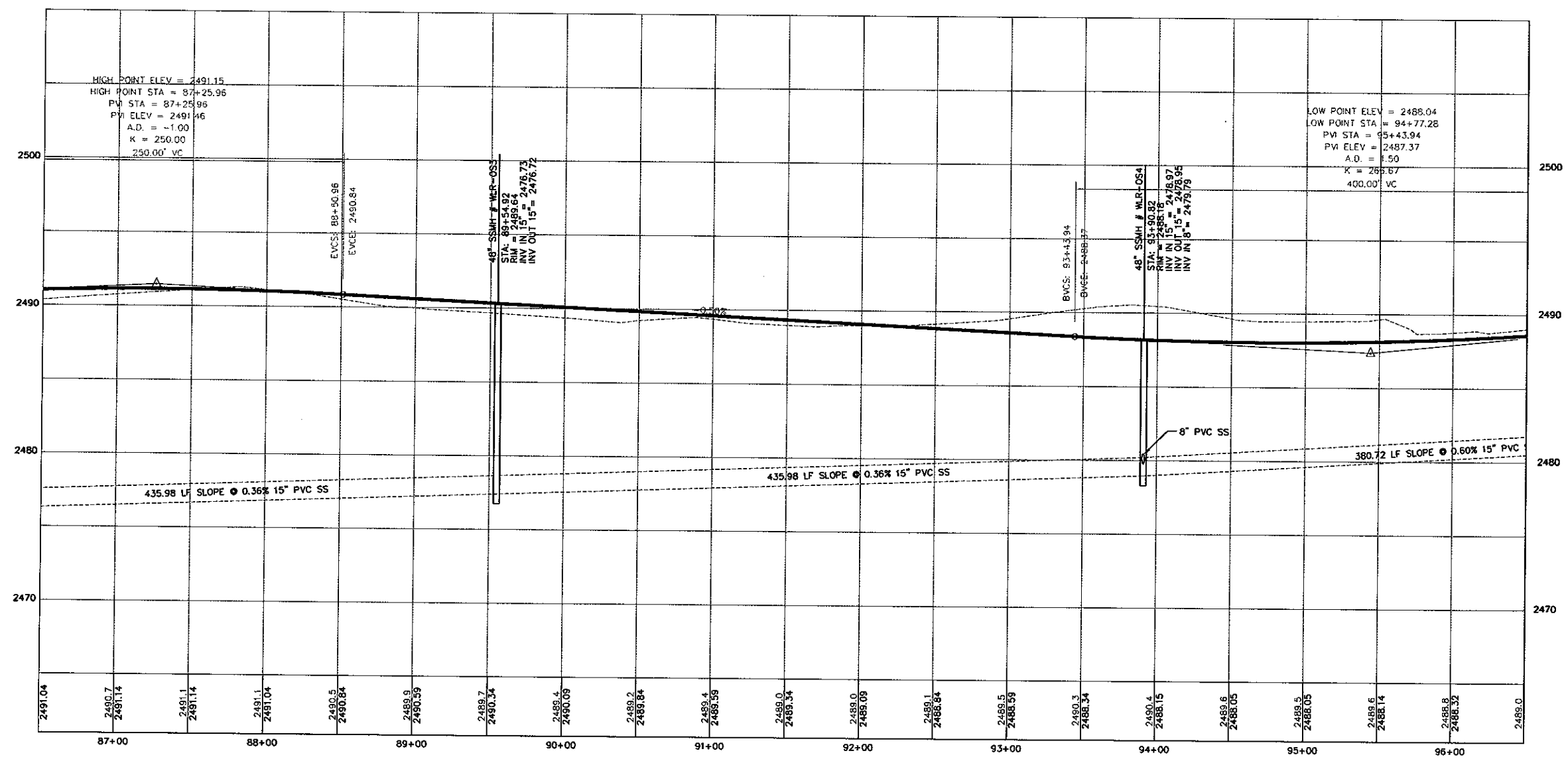
SC# PROJECT#  
18449.03.03

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LOOP ROAD WEST  
SCALE: HORIZ 1"=40'

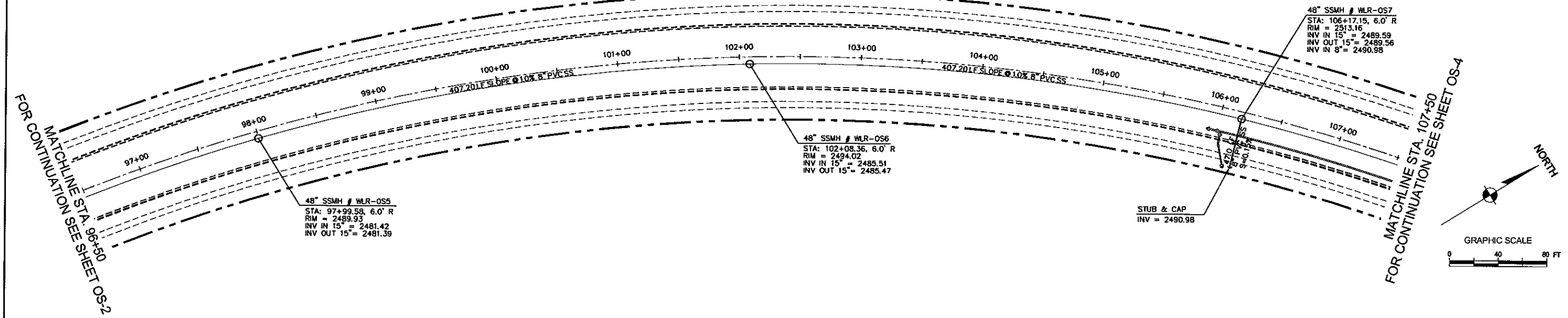


LOOP ROAD WEST  
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VERT 1"=4'

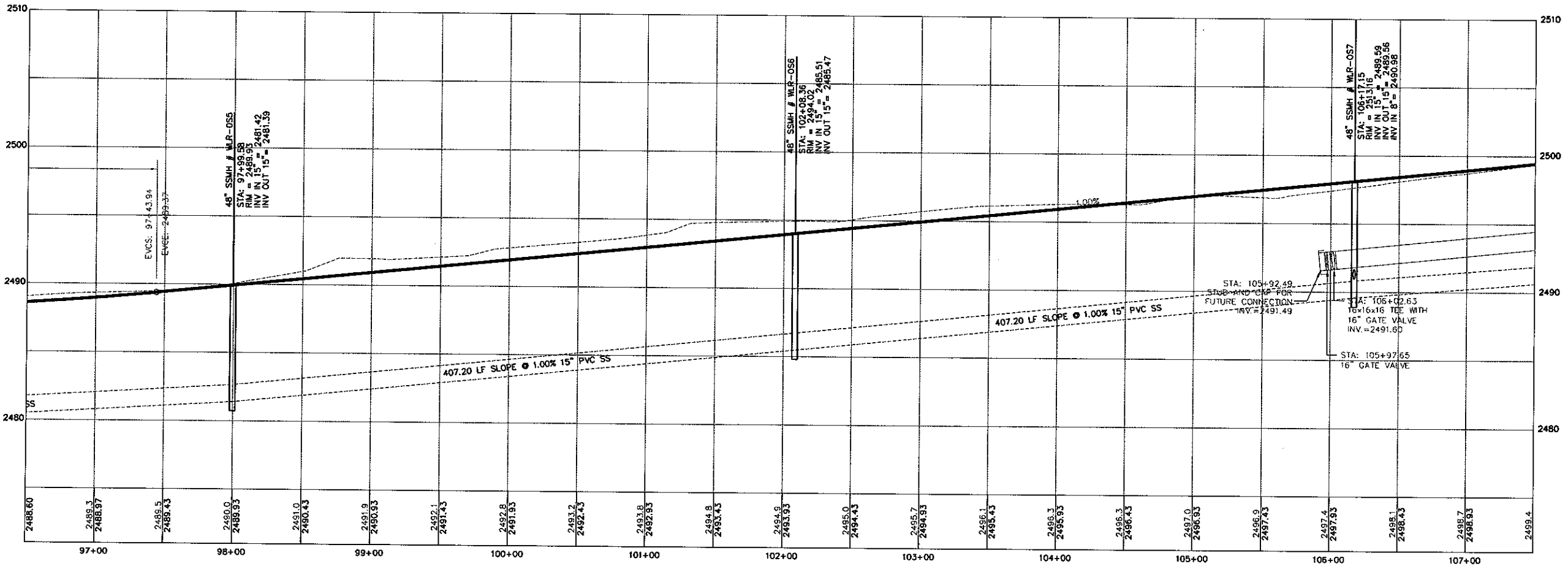
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NOT FOR CONSTRUCTION 10-18-05

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RHODES HOMES ARIZONA, LLC GOLDEN VALLEY RANCH		SHEET 08-2 10 OF 20 SHEETS	
WEST LOOP ROAD IMPROVEMENTS SEWER PLAN AND PROFILE		SD PROJECT# 18449.03.03	
MOHAVE COUNTY ARIZONA		DATE 11/28/05	
5220 S. Eastern Avenue, Suite 200 Phoenix, AZ 85034 (602) 998-0330 www.stanleygroup.com		SCALE (H) 1"=40' SCALE (V) 1"=4' DRAWN BY: VND CHECKED BY: MPB	
Stanley Consultants INC.		DATE 11/28/05	

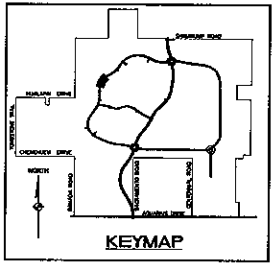


**LOOP ROAD WEST**  
SCALE: HORIZ 1"=40'

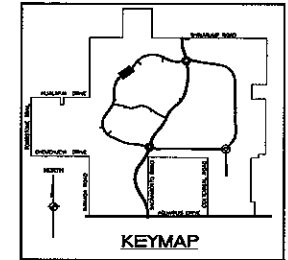


**LOOP ROAD WEST**  
SCALE: HORIZ 1"=40'  
VERT 1"=4'

PRELIMINARY ISSUE FOR REVIEW  
NOT FOR CONSTRUCTION 10-18-05



SHEET <b>OS-3</b> 10 OF 20 SHEETS	
SCI PROJECT 18449.03.03	
RHODES HOMES ARIZONA, LLC GOLDEN VALLEY RANCH WEST LOOP ROAD IMPROVEMENTS SEWER PLAN AND PROFILE MCNAVE COUNTY ARIZONA	
Stanley Consultants inc. 5820 S. Eastern Avenue, Suite 200 Las Vegas, Nevada 89119 (702) 369-4336 Fax (702) 369-9733 www.stanleyconsultants.com	
SCALE (H) 1"=40'	SCALE (V) 1"=4'
DRAWN BY VND	CHECKED BY MPB
DATE 11/28/05	

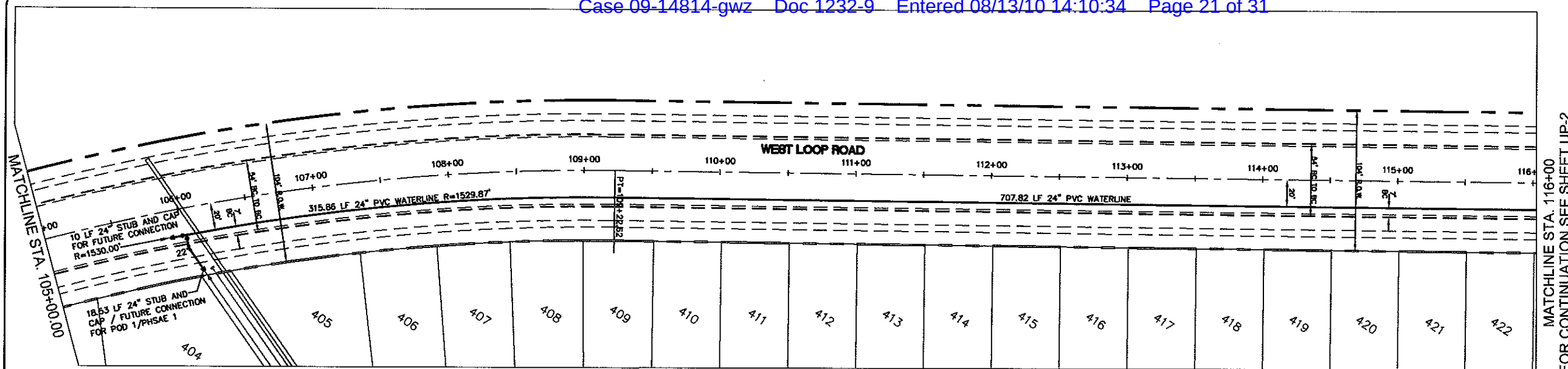


**LOOP ROAD WEST**  
SCALE: HORIZ 1"=40'  
VERT 1"=4'

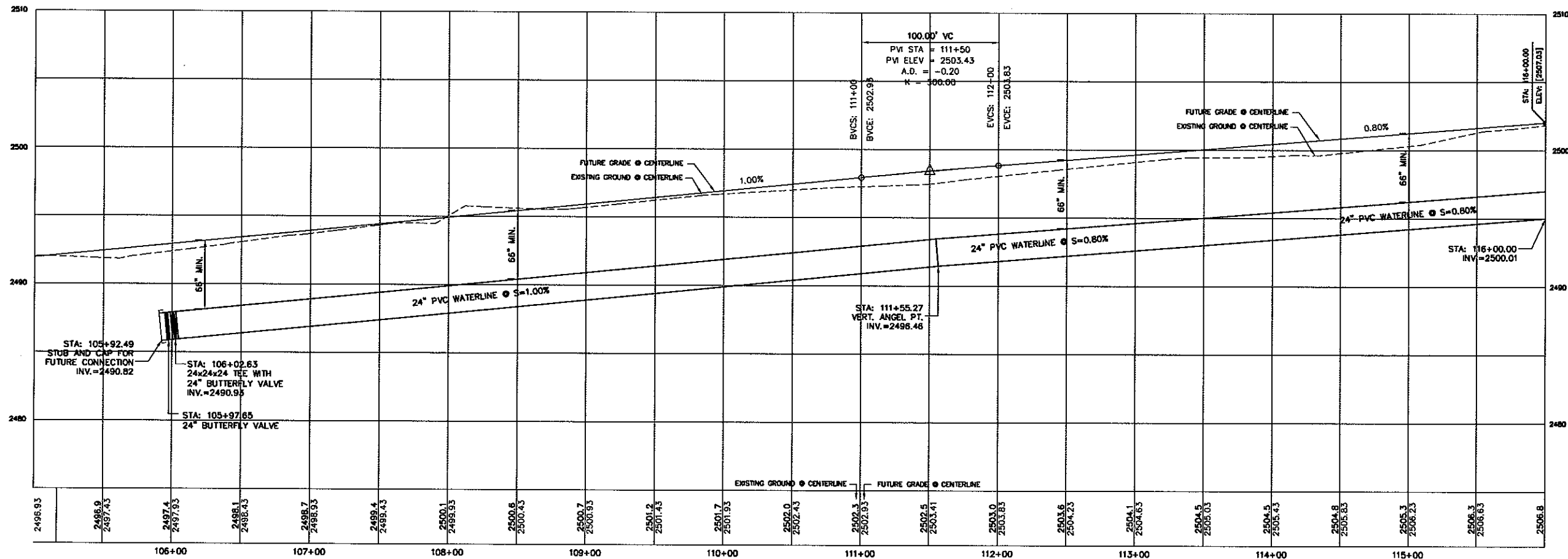


SHEET  
**OS-4**  
OF 20 SHEETS  
SCI PROJECT#  
18449.03.03





**PLAN - WEST LOOP ROAD**  
SCALE: HORIZ 1"=40'



#### BASIS OF BEARING

NORTH 001°35'00" EAST - THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 02, TOWNSHIP 20 NORTH, RANGE 18 WEST, CL & SALT RIVER MERIDIAN, MOHAVE COUNTY, ARIZONA, AS DETERMINED BY THE ARIZONA COORDINATE SYSTEM OF 1983 (AZ83-WF), WEST ZONE, INTERNATIONAL FOOT (IFT), UTILIZING FAST STATIC OBSERVATIONS PROCESSED BY NGS-OPUS.

M.C.S.D. "SD 35" = LATITUDE 35°09'22.43032"N, LONGITUDE 114°10'58.56309"W (NAD '83)  
HIGHT 2466.56824ft (NAVD'83)

#### BENCHMARK

BENCHMARK # "427" B.M.C.S.D.  
ELEVATION = 2559.488 FT (NGVD '29)  
CONVERSION = 2662.014 FT (NAVD '83) - 2.546 = 2659.488 FT (NGVD '29)  
DESCRIPTION: 1 1/2" ALUMINUM CAP IN CONCRETE  
STAMP MOHAVE COUNTY 1999 T&L 10343  
LOCATED AT THE SOUTHWEST CORNER OF AZTEC ROAD & BOLSA DRIVE.

#### SEWER CONSTRUCTION NOTES

1. INSTALL 48" DIAMETER MANHOLE PER M.A.G. STANDARD DETAIL NO. 420
2. INSTALL 15" PVC SEWER MAIN
3. INSTALL 4" PVC SEWER LATERAL PER M.A.G. STANDARD DETAIL NO. 440
4. INSTALL 15" PVC SEWER STUB & CAP

#### WATER CONSTRUCTION NOTES

1. INSTALL FIRE HYDRANT ASSEMBLY PER M.A.G. STANDARD DETAIL NO. 360
2. INSTALL 8" x 8" TEE
3. INSTALL 8" GATE VALVE \ VALVES
4. INSTALL 1" COPPER WATER LATERAL W/ 3/4" WATER METER PER CITY OF KINGMAN STANDARD DETAIL NO. 344
5. INSTALL 1" DUAL COPPER WATER LATERALS W/ 3/4" WATER METERS PER CITY OF KINGMAN STANDARD DETAIL NO. 344
6. 8" CAP W/ BLOW-OFF PER M.A.G. STANDARD DETAIL NO. 390
7. INSTALL 8" PVC PIPE CLASS 150 MEETING REQ. OF A.R.W.A. C-900

#### PROFILE - WEST LOOP ROAD

SCALE: HORIZ 1"=40'  
VERT 1"=4'

#### NOTE

ALL CONSTRUCTION SHALL CONFORM WITH THE SOILS REPORT PREPARED BY GEO. TEK, INC., DATED APRIL 20, 2009, PROJECT NO. 5821-LVB.

#### FEMA FLOOD ZONE

FLOOD ZONE DESIGNATION: FEMA-X  
AZTEC AT CHAIR DOES NOT LIE WITHIN A DESIGNATED SPECIAL FLOOD HAZARD AREA.

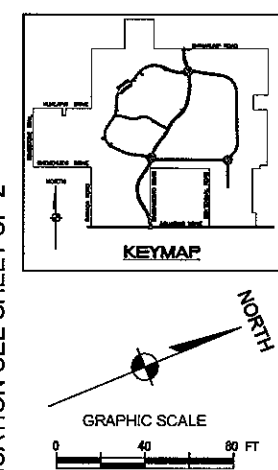
#### LEGEND

##### WATER

- 3/4" WATER METER
- W/ 1" COPPER WATER LATERAL
- 3/4" DUAL WATER METERS
- W/ 1" COPPER WATER LATERALS
- FIRE HYDRANT ASSEMBLY
- TEE W/ VALVE
- 2" BLOWOFF ASSEMBLY
- GATE VALVE OR BUTTERFLY VALVE
- 11 1/4", 22 1/2", 45", 90" BEND

##### SEWER

- SANITARY SEWER MANHOLE
- SANITARY SEWER MAIN
- 4" PVC SEWER LATERAL
- 48" STUB AND CAP
- SEWER BACK WATER VALVE



MATCHLINE STA. 116+00  
FOR CONTINUATION SEE SHEET UP-2

SCALE (H) 1"=40'

SCALE (V) 1"=4'

DRAWN BY VMD

CHECKED BY MPB

DATE 8/30/05

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Tucson, Arizona 85710  
(702) 366-1336  
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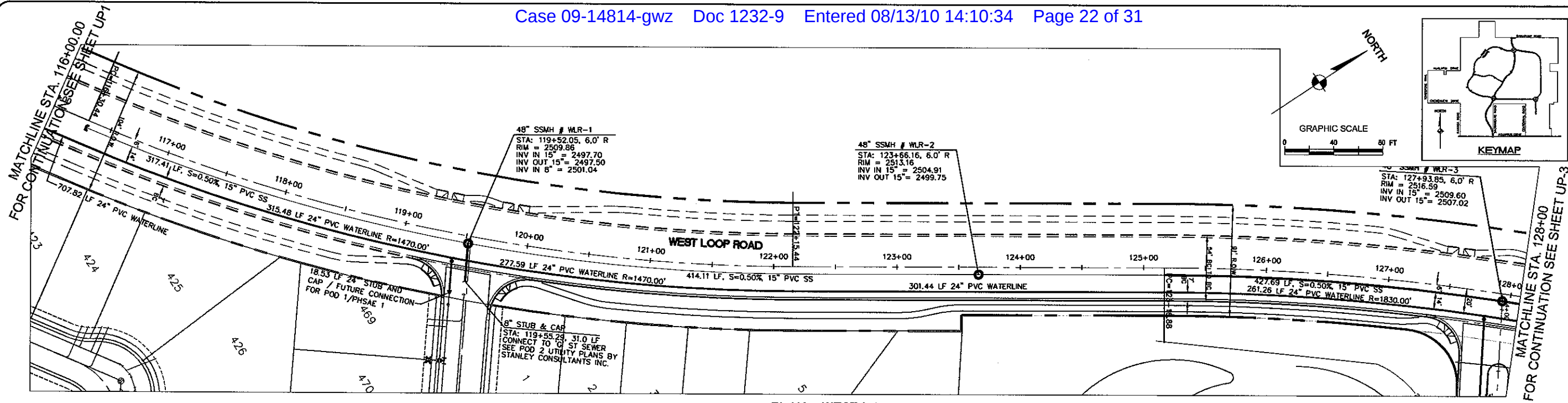
**Stanley Consultants INC.**

RHOES HOMES ARIZONA, LLC  
GOLDEN VALLEY RANCH

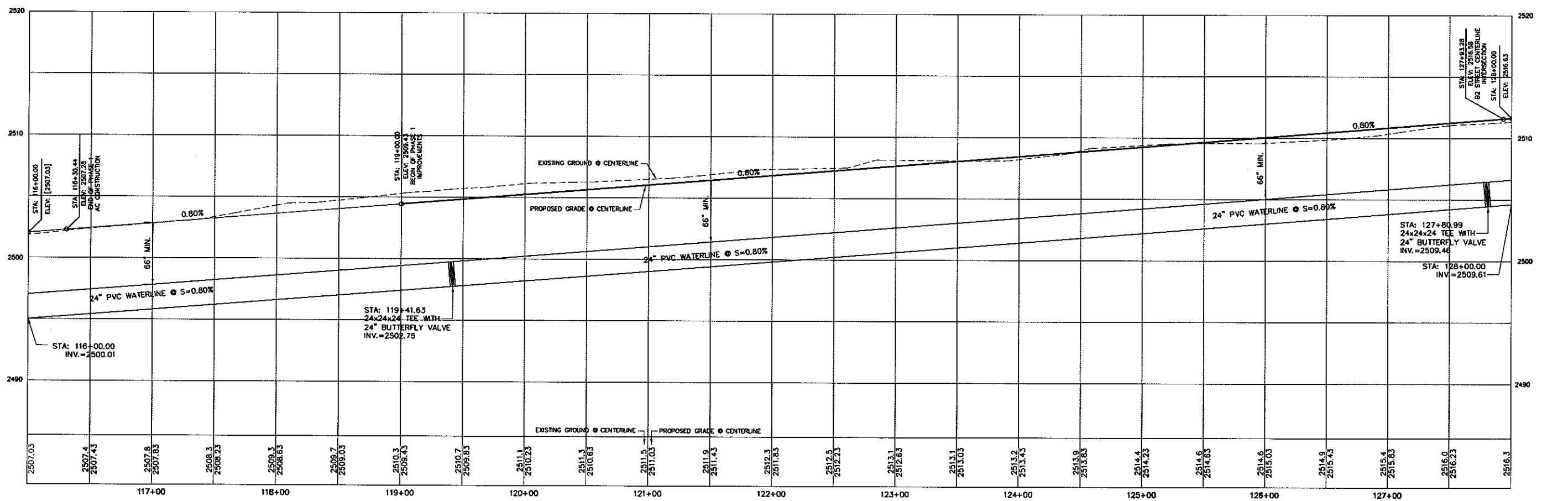
WEST LOOP ROAD PHASE 1 IMPROVEMENTS  
OFFSITE WATERLINE PLAN - STA. 105+00 - 116+00  
MOHAVE COUNTY, ARIZONA

SHEET  
**OSWL-1**  
1 OF 20 SHEETS

SG PROJECT  
18449.03.03



PLAN - WEST LOOP ROAD  
SCALE: HORIZ 1"=40'



PROFILE - WEST LOOP ROAD  
SCALE: HORIZ 1"=40'  
VERT 1"=4'

**DISCLAIMER NOTE**  
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Call before you Dig  
1-800-782-5348  
(1-800-TALK-211)

Call before you Overhead  
1-828-753-5591  
(1-828-TALK-211)

**BASIS OF BEARINGS**  
NORTH 001°35' EAST - THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 02, TOWNSHIP 20 NORTH, RANGE 18 WEST, CL & SALT RIVER MERIDIAN, MOHAVE COUNTY, ARIZONA, AS DETERMINED BY THE ARIZONA COORDINATE SYSTEM OF 1983 (AZ83-WF), WEST ZONE, INTERNATIONAL FOOT (FT), UTILIZING FAST STATIC OBSERVATIONS PROCESSED BY NGS-OPUS.

M.C.S.D. "SD 35" = LATITUDE 35°09'22.43032"N, LONGITUDE 114°10'58.56309"W (NAD '83)  
HEIGHT 2466.5682411 (NAD'88)

**BENCHMARK**  
BENCHMARK # "AZT 3" M.C.S.D.  
ELEVATION = 2659.468 FT (NGVD '29)  
CONVERSION = 2662.014 FT (NAD'88) - 2.546 = 2659.468 FT (NGVD '29)  
DESCRIPTION: 1 1/2" ALUMINUM CAP IN CONCRETE  
STAMP MOHAVE COUNTY 1999 "NLS 10343"  
LOCATED AT THE SOUTHWEST CORNER OF AZTEC ROAD & BOLSA DRIVE.

- SEWER CONSTRUCTION NOTES**
1. INSTALL 48" DIAMETER MANHOLE PER M.A.G. STANDARD DETAIL NO. 420
  2. INSTALL 15" PVC SEWER MAIN
  3. INSTALL 4" PVC SEWER LATERAL PER M.A.G. STANDARD DETAIL NO. 440
  4. INSTALL 15" PVC SEWER STUB & CAP
- WATER CONSTRUCTION NOTES**
1. INSTALL FIRE HYDRANT ASSEMBLY PER M.A.G. STANDARD DETAIL NO. 360
  2. INSTALL 8" x 8" TEE
  3. INSTALL 8" GATE VALVE \ VALVES
  4. INSTALL 1" COPPER WATER LATERAL W 3/4" WATER METER PER CITY OF KINGMAN STANDARD DETAIL NO. 344
  5. INSTALL 1" DUAL COPPER WATER LATERALS W 3/4" WATER METERS PER CITY OF KINGMAN STANDARD DETAIL NO. 344
  6. 8" CAP W/ BLOW-OFF PER M.A.G. STANDARD DETAIL NO. 390
  7. INSTALL 8" PVC PIPE CLASS 150 MEETING REQ. OF A.W.W.A. C-900

**NOTE**  
ALL CONSTRUCTION SHALL CONFORM WITH THE SOILS REPORT PREPARED BY GEO. TEK, INC., DATED APRIL 25, 2005, PROJECT NO. 5821-LYS.

**FEMA FLOOD ZONE**  
FLOOD ZONE DESIGNATION: FEMA-X  
AZTEC AT CHUARI DOES NOT LIE WITHIN A DESIGNATED SPECIAL FLOOD HAZARD AREA.

**LEGEND**

<b>WATER</b>	<b>SEWER</b>	
WATER MAIN	① SANITARY SEWER MANHOLE	
3/4" WATER METER	W/ 1" COPPER WATER LATERAL	② SANITARY SEWER MAIN
3/4" DUAL WATER METERS	W/ 1" COPPER WATER LATERALS	③ 4" PVC SEWER LATERAL
FIRE HYDRANT ASSEMBLY	TEE W/ VALVE	④ 48" STUB AND CAP
2" BLOWOFF ASSEMBLY	GATE VALVE OR BUTTERFLY VALVE	⑤ SEWER BACK WATER VALVE
11 1/4", 22 1/2", 45", 90" BEND		

PHODES HOMES ARIZONA, LLC  
GOLDEN VALLEY RANCH

WEST LOOP ROAD PHASE 1 IMPROVEMENTS  
WATERLINE PLAN - STA. 116+00 - 128+00  
MOHAVE COUNTY

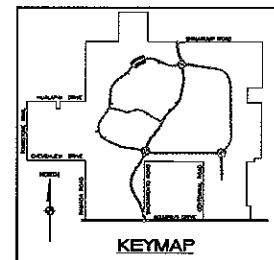
SCALE (H) 1"=40'  
SCALE (V) 1"=4'  
DRAWN BY VND  
CHECKED BY MPB  
DATE 8/20/05

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5820 S. Eastern Avenue, Suite 200  
Las Vegas, Nevada 89119  
(702) 369-0793  
www.stanleygroup.com

SHEET  
WL-2  
1 OF 20 SHEETS  
SCJ PROJECT  
18449.03.03



MATCHLINE STA. 140+00  
FOR CONTINUATION SEE SHEET UP-4



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Las Vegas, Nevada 89119  
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[www.stanleygroup.com](http://www.stanleygroup.com)



**Stanley Consultants INC.**

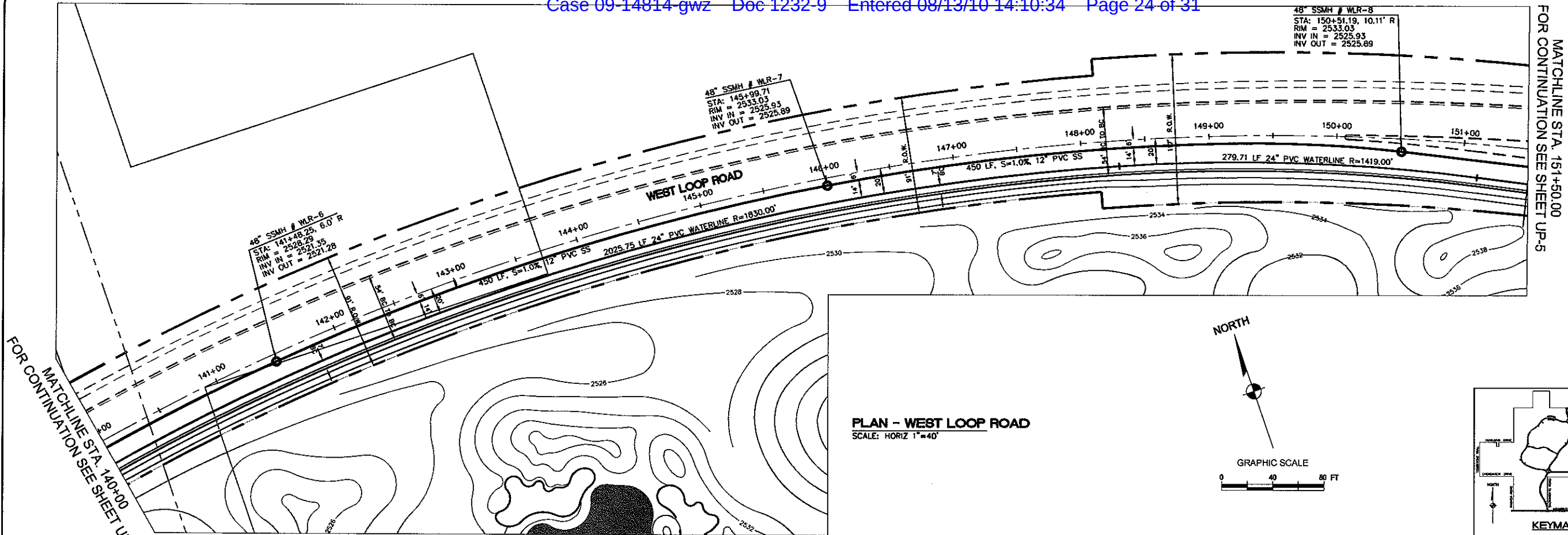
**PHODES HOMES ARIZONA, LLC**  
**GOLDEN VALLEY RANCH**

**WEST LOOP ROAD PHASE 1 IMPROVEMENTS  
WATERLINE PLAN STA. 128+00 - 140+00**

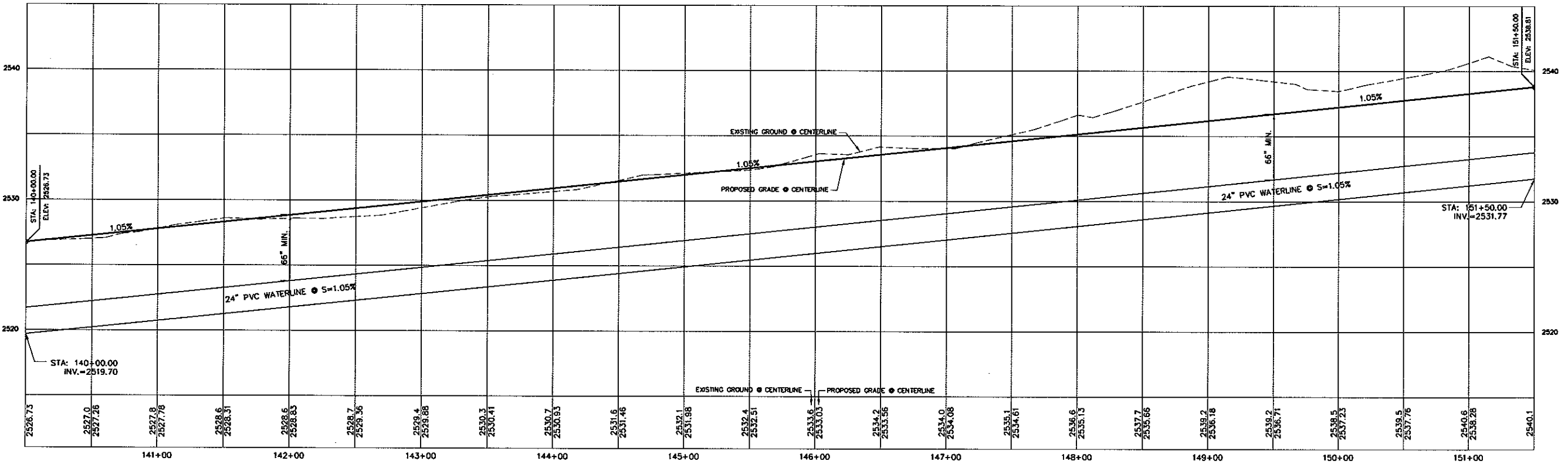
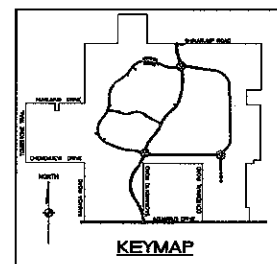
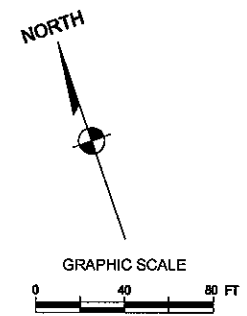
**UNION COUNTY**

SHEET  
**WL-3**  
OF 20 SHEETS  
SCI PROJECT#  
18449.03.03





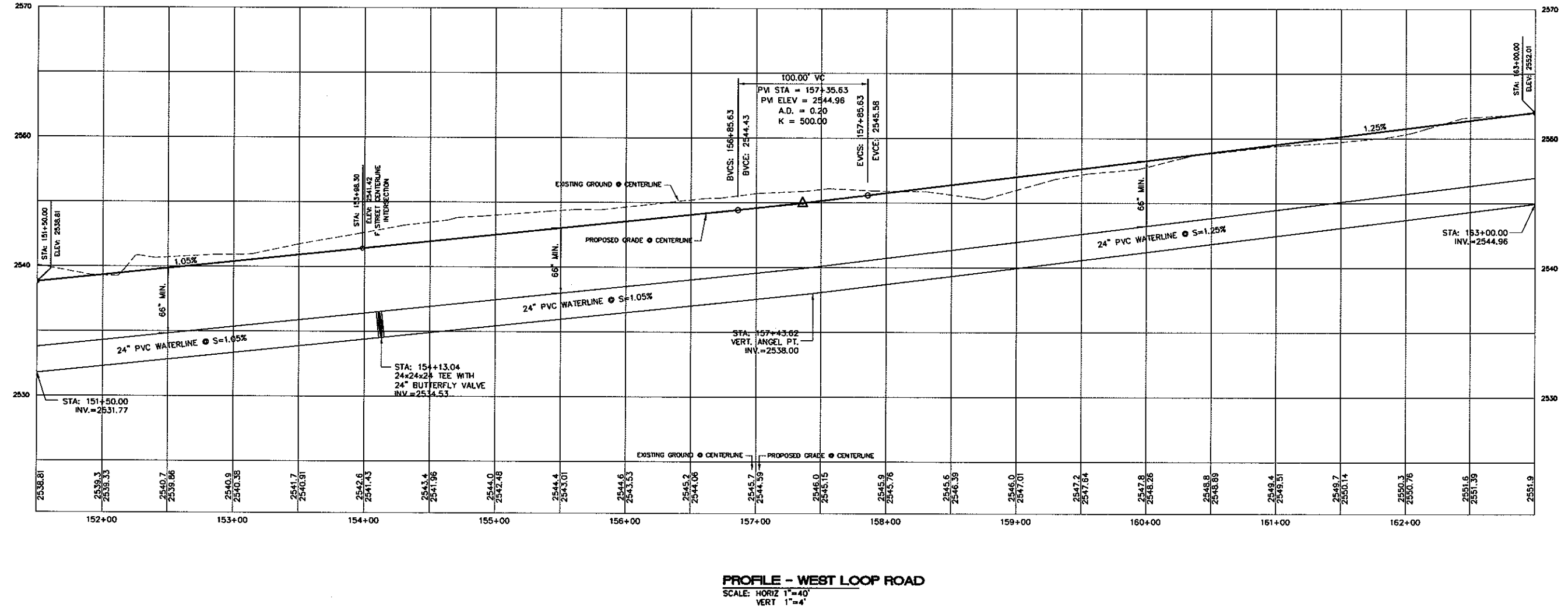
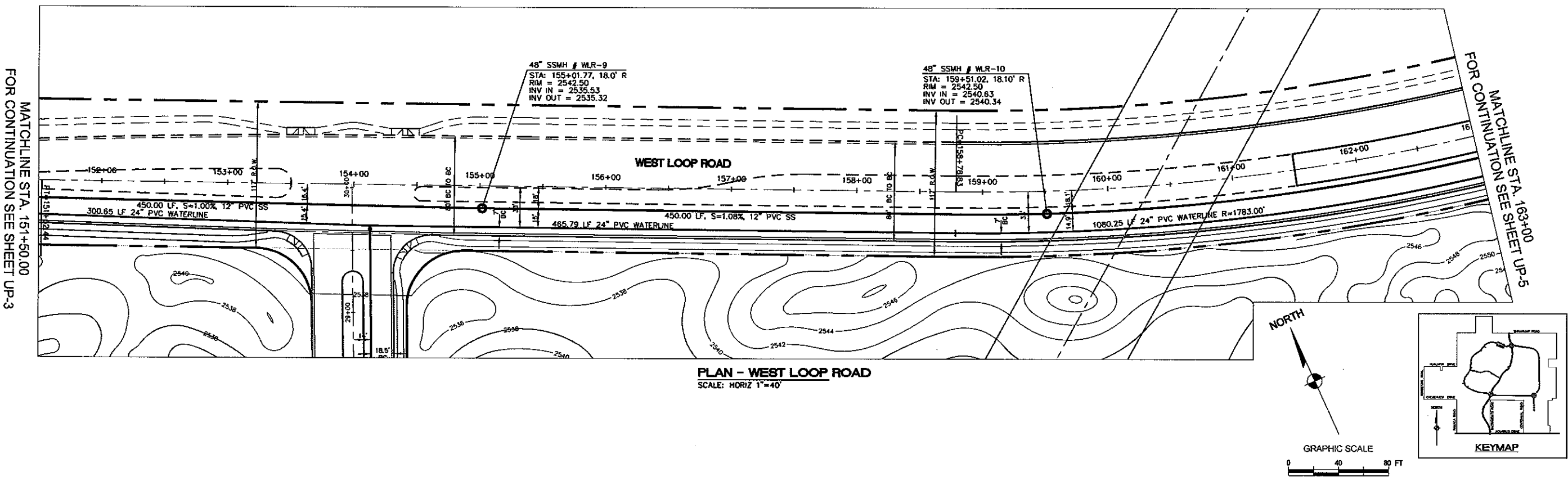
PLAN - WEST LOOP ROAD  
SCALE: HORIZ 1"=40'



PROFILE - WEST LOOP ROAD  
SCALE: HORIZ 1"=40'  
VERT 1"=4'

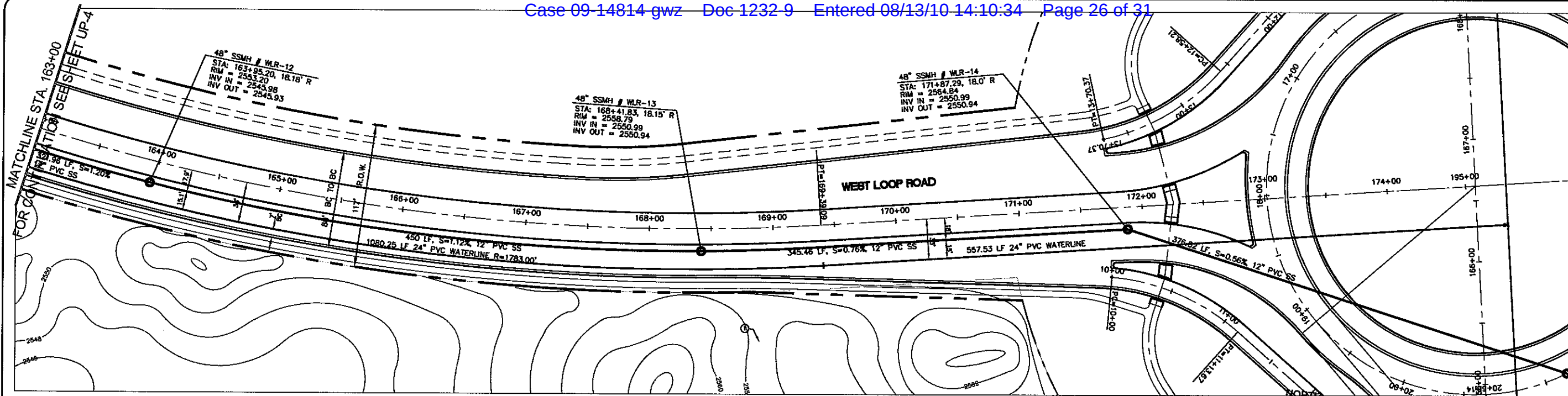
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SHEET <b>WL-4</b> 3 OF 20 SHEETS	
SCI PROJECT 18449.03.03	
RHODES HOMES ARIZONA, LLC GOLDEN VALLEY RANCH WEST LOOP ROAD PHASE 1 IMPROVEMENTS WATERLINE PLAN STA. 140+00 - 151+50.00 MOHAVE COUNTY ARIZONA	
Stanley Consultants INC. 5820 S. Eastern Avenue, Suite 200 Las Vegas, Nevada 89119 (702) 369-9793 www.stanleygroup.com	
SCALE (H) 1"=40' SCALE (V) 1"=4'	DRAWN BY: VND CHECKED BY: MPB DATE: 8/30/05

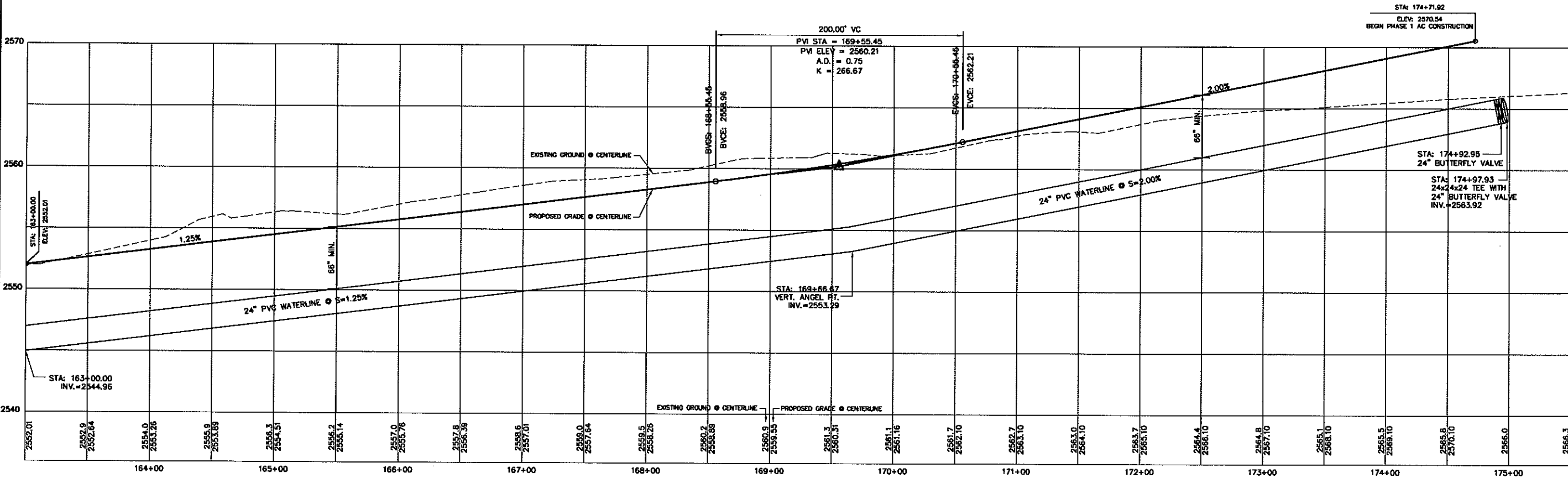


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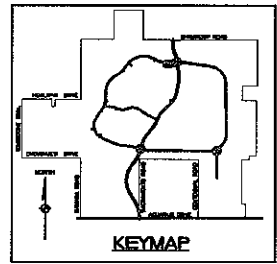
SHEET	
WL-5	
4 OF 20 SHEETS	
SCI PROJECT 18449.03.03	
RHODES HOMES ARIZONA, LLC GOLDEN VALLEY RANCH	
WEST LOOP ROAD PHASE 1 IMPROVEMENTS WATERLINE PLAN STA. 151+50.00 - 163+00	
MCHAVE COUNTY ARIZONA	
Stanley Consultants INC.	
5820 S. Eastern Avenue, Suite 200 Las Vegas, NV 89148 (702) 369-9793 www.stanleygroup.com	
SCALE (H) 1"=40'	SCALE (V) 1"=4'
DRAWN BY EMC	CHECKED BY MPB
DATE 8/30/05	



PLAN - WEST LOOP ROAD  
SCALE: HORIZ 1"=40'



PROFILE - WEST LOOP ROAD  
SCALE: HORIZ 1"=40'  
VERT 1"=4'



DATE	8/20/05
CHECKED BY	UPB
DRAWN BY	EMG
SCALE (H)	1"=40'
SCALE (V)	1"=4'

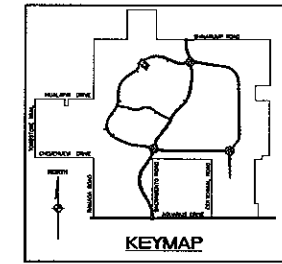
3820 S. Eastern Avenue, Suite 200  
Phoenix, AZ 85018  
(702) 369-9733  
www.stanleygroup.com



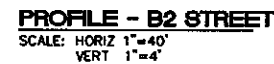
PHOEBES HOMES ARIZONA, LLC  
GOLDEN VALLEY RANCH  
WEST LOOP ROAD PHASE 1 IMPROVEMENTS  
WATERLINE PLAN STA 163+00 - 175+00  
MCNAUL COUNTY ARIZONA

SHEET  
UP-6  
5 OF 20 SHEETS  
SGI PROJECT  
18448.03.03





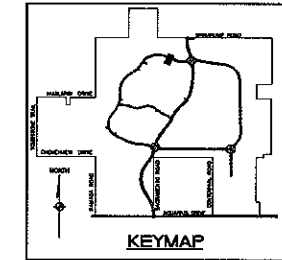
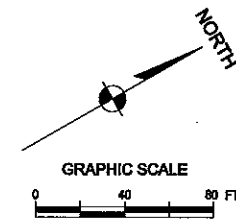
WEST LOOP ROAD  
FOR CONTINUATION SEE SHEET UP-3



Avoid overhead power  
line contact.  
**Call  
before you  
Overhead**  
1-928-753-5591  
DISTRICT

DESCRIPTION: 1 1/2" ALUMINUM CAP IN CONCRETE  
STAMP MOHAVE COUNTY 1989 "RLS 10343".  
LOCATED AT THE SOUTHWEST CORNER OF AZTEC ROAD & BOLSA DRIVE.

SHEET  
**WL-7**  
5 OF 20 SHEETS  
SCI PROJECT#  
18449.03.03



## BASIS OF BEARINGS

NORTH 00°13'35" EAST - THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 02, TOWNSHIP 20 NORTH, RANGE 18 WEST, GILA & SALT RIVER MERIDIAN, MOHAVE COUNTY, ARIZONA, AS DETERMINED BY THE ARIZONA COORDINATE SYSTEM OF 1983 (AZ83-WF), WEST ZONE, INTERNATIONAL FOOT (FT), UTILIZING FAST STATIC OBSERVATIONS PROCESSED BY NGS-OPUS.

M.C.S.D. "SD 35" - LATITUDE 35°09'22.43032"N,  
LONGITUDE 114°10'58.56309"W (NAD '83)  
HEIGHT 2466.56824ft (NAVD'88)

## BENCHMARK

BENCHMARK # "AZT 5" M.C.S.D.  
ELEVATION= 2659.468 IFT (NGVD '29)  
CONVERSION= 2662.014 IFT (NAVD '88) - 2.546 = 2659.468 IFT (NGVD '29)

DESCRIPTION: 1 1/2" ALUMINUM CAP IN CONCRETE  
STAMP MOHAVE COUNTY 1989 "RLS 10343".  
LOCATED AT THE SOUTHWEST CORNER OF AZTEC ROAD & BOLSA DRIVE

**DISCLAIMER NOTE**

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND OR OVER-HEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

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Call you Dig  
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(1-800-STAGE-IT)

Avoid overhead power  
line contact.  
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before you  
Overhead  
1-928-753-5591

5820 S. Eastern Avenue, Suite 200  
Las Vegas, Nevada 89119  
(702) 369-9396 Fax (702) 369-9793  
[www.stonleygroup.com](http://www.stonleygroup.com)



**Stanley Consultants INC.**

**RHODES HOMES ARIZONA, LLC**  
**GOLDEN VALLEY RANCH**

**WEST LOOP ROAD PHASE 1 IMPROVEMENTS  
WATERLINE PLAN STA. 25+00 - 34+12.81**

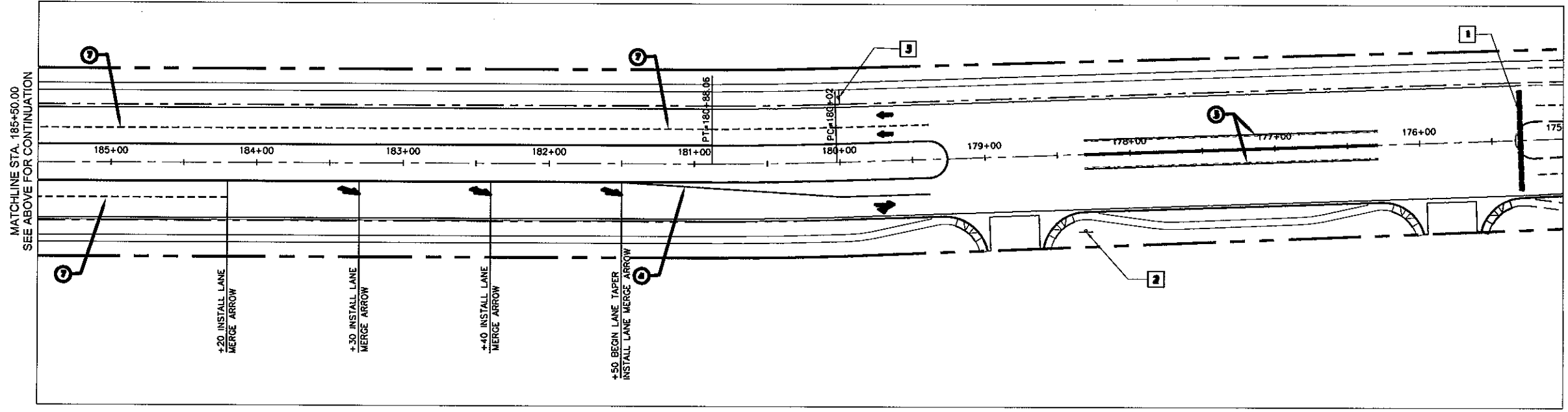
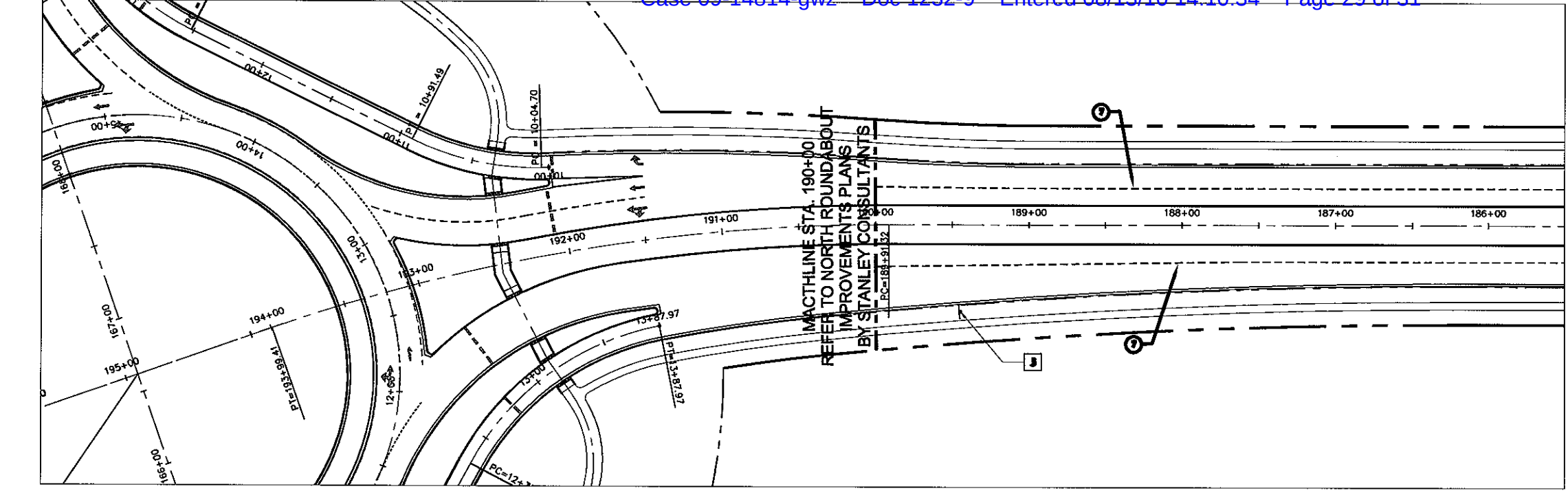
**MOHAVE COUNTY**  
**ARIZONA**

**SHEET**  
**WL-8**

5 OF 20 SHEETS

SCI PROJECT/  
18449.03.03

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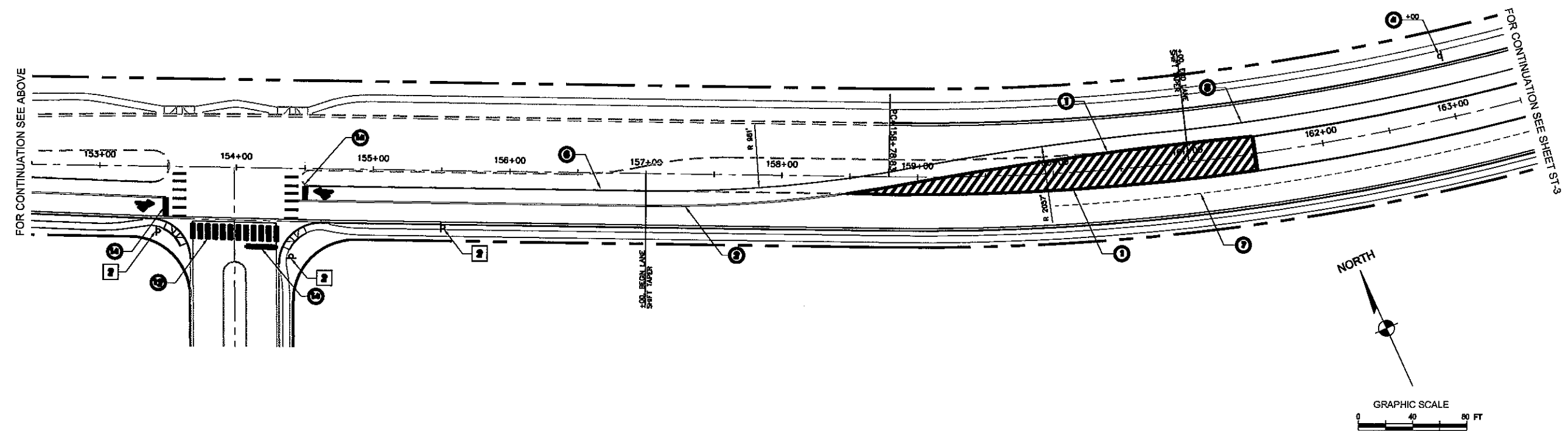
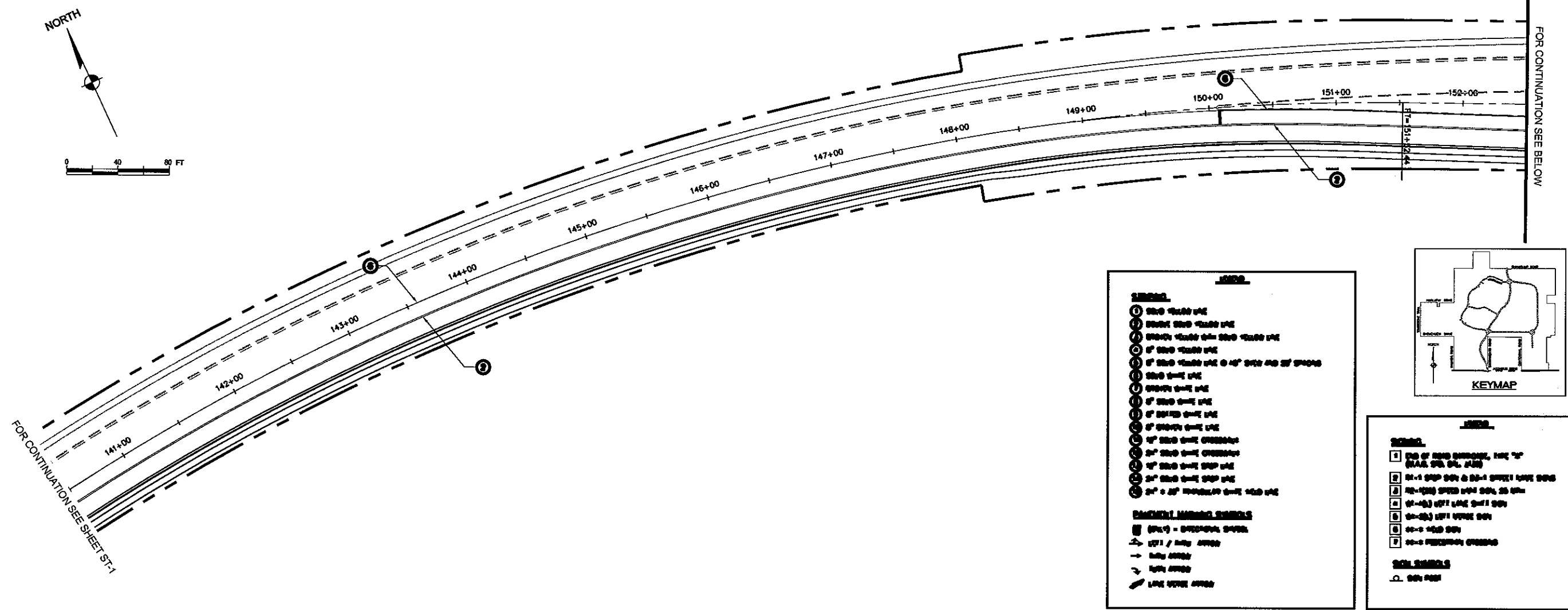
- LEGEND**
- NOTES:**
1. END OF ROAD SIGNAGE, TYPE "X" (PLATE 50A, 50B, 7130)
  2. 10'-1' STOP SIGN & 10'-1' STOP SIGN SIGN
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- SEE SYMBOLS**
- SEE PLAN

- LEGEND**
- NOTES:**
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PRELIMINARY ISSUE FOR REVIEW  
NOT FOR CONSTRUCTION 10-18-05

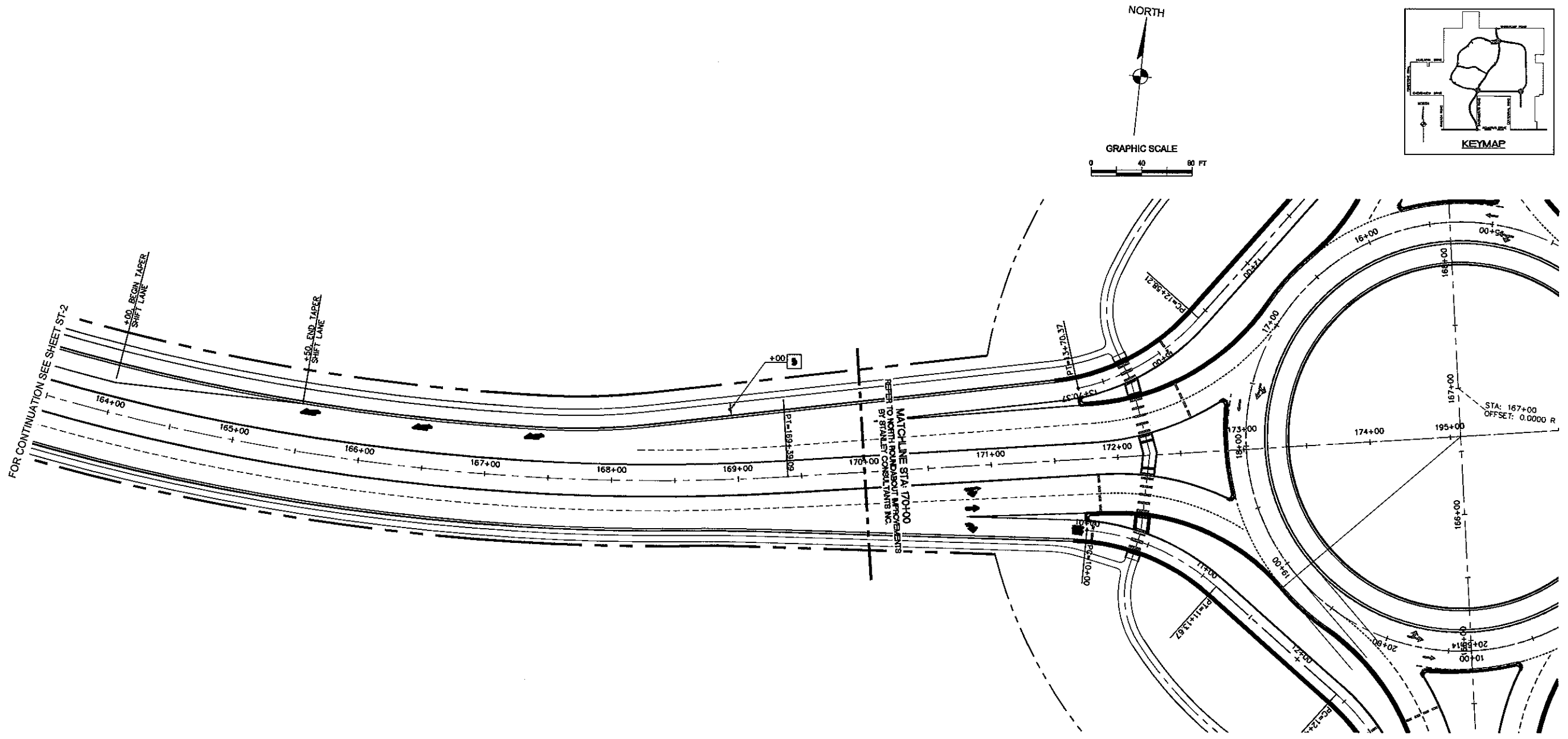
RHODES HOMES ARIZONA, LLC GOLDEN VALLEY RANCH		STANLEY CONSULTANTS INC.	
EAST LOOP ROAD PHASE I IMPROVEMENTS STRIPING PLAN - STA: 175+00.05 - 185+50.00		ARIZONA	
SHEET ST-1		DATE: 8/25/05	
8 OF 9 SHEETS		CHECKED BY: UPB	
SC1 PROJECT# 18449.03.02		DRAWN BY: ENG	
		SCALE (H) 1" = 40'	
		SCALE (V) 1" = 4'	
		DATE: 8/25/05	
		STANLEY CONSULTANTS INC.	
		5820 S. Eastern Avenue, Suite 200 Phoenix, AZ 85044 (602) 969-9733 www.stanleygroup.com	





PRELIMINARY ISSUE FOR REVIEW  
NOT FOR CONSTRUCTION 10-18-05

RHODES HOMES ARIZONA, LLC GOLDEN VALLEY RANCH		SHEET <b>ST-2</b> 2 OF 20 SHEETS	
WEST LOOP ROAD PHASE 1 IMPROVEMENT STRIPING PLAN STA= 149+50.00 - 163+50.00		SCT PROJECT# 18449.03.03	
MOHAVE COUNTY ARIZONA		DATE 8/08/05	
Stanley Consultants INC.		SCALE (H) 1" = 40' SCALE (V) NA DRAWN BY EMC CHECKED BY MPB	
3820 S. Eastern Avenue, Suite 200 Las Vegas, Nevada 89119 Tel: (702) 369-5733 Fax: (702) 369-5734 www.stanleygroup.com		DATE 8/08/05	



**STREET LIGHTING CONSTRUCTION NOTES**

1. INSTALL 250W HPS LUMINAIRES AND PDL PER DETAIL
2. INSTALL 1 1/4" STREET LIGHT CONDUIT AND WIRE PER DETAIL (SEE DETAIL SHEET DT4)
3. INSTALL 125 AMP SERVICE PODASTAL PER DETAIL
4. INSTALL PULLBOX (SEE DETAIL SHEET DT4)
5. INSTALL 100W HPS LUMINAIRES AND POLE PER DETAIL (SEE DETAIL SHEET DT4)
6. STUB & CAP STREET LIGHTING CONDUIT 10' PAST END OF CONSTRUCTION

NOTE: ALL NOTES NOT USED ON ALL SHEETS

**CONSTRUCTION NOTES**

1. 30" ROLL CURB AND CUTTER PER DETAIL NO. 217A ON SHEET DT4
2. 24" VERTICAL CURB AND CUTTER PER M.A.G. STD. DETAIL NO. 220 (TYPE A) (SEE DETAIL SHEET DT4)
3. 5' CURB TRANSITION PER DETAIL ON SHEET DT3
4. CONCRETE SIDEWALK PER M.A.G. STANDARD DETAIL NO. 230 (SEE DETAIL SHEET DT4)
5. VALLEY CUTTER PER M.A.G. STANDARD DETAIL NO. 240 (SEE DETAIL SHEET DT4)
6. DROP CURB PER DETAIL ON SHEET DT5
7. SIDEWALK SLOPPER PER M.A.G. STANDARD DETAIL NO. 203 (SEE DETAIL SHEET DT5)
8. 24" RIBBON CURB PER M.A.G. STD. DETAIL NO. 220 (TYPE B) (SEE DETAIL SHEET DT4)

NOTE: ALL NOTES NOT USED ON ALL SHEETS

**NEW STREETLIGHT SERVICE PEDESTAL CIRCUIT 'A'**

**STREETLIGHT CIRCUIT 'A' CAPACITY VERIFICATION**

LOCATION: NORTHWEST ENTRANCE	
SERVICE PEDESTAL CAPACITY	= 125 AMPS
CIRCUIT BREAKER	= 60 AMPS
MAXIMUM ALLOWABLE DRAW (0.80) X 60 AMPS	= 48 AMPS
EXISTING CIRCUIT LOAD	= 0 AMPS
PROPOSED LUMINAIRE LOAD TO CIRCUIT	
44 EA - 100 WATT @ 1.0 AMPS EACH	= 44.0 AMPS
TOTAL PROPOSED LOAD	= 44.0 AMPS
EXISTING PLUS PROPOSED LOAD	= 44.0 AMPS
REMAINING AVAILABLE LOAD	= 4.0 AMPS

**STREETLIGHT CIRCUIT 'A2' CAPACITY VERIFICATION**

LOCATION: NORTHWEST ENTRANCE	
SERVICE PEDESTAL CAPACITY	= 125 AMPS
CIRCUIT BREAKER	= 60 AMPS
MAXIMUM ALLOWABLE DRAW (0.80) X 60 AMPS	= 48 AMPS
EXISTING CIRCUIT LOAD	= 0 AMPS
PROPOSED LUMINAIRE LOAD TO CIRCUIT	
42 EA - 100 WATT @ 1.0 AMPS EACH	= 42.0 AMPS
TOTAL PROPOSED LOAD	= 42.0 AMPS
EXISTING PLUS PROPOSED LOAD	= 42.0 AMPS
REMAINING AVAILABLE LOAD	= 8.0 AMPS

**NEW STREETLIGHT SERVICE PEDESTAL CIRCUIT 'B'**

**STREETLIGHT CIRCUIT 'B' CAPACITY VERIFICATION**

LOCATION: PHASE 1 SOUTHERN END OF WEST COLLECTOR	
SERVICE PEDESTAL CAPACITY	= 125 AMPS
CIRCUIT BREAKER	= 60 AMPS
MAXIMUM ALLOWABLE DRAW (0.80) X 60 AMPS	= 48 AMPS
EXISTING CIRCUIT LOAD	= 0 AMPS
PROPOSED LUMINAIRE LOAD TO CIRCUIT	
22 EA - 100 WATT @ 1.0 AMPS EACH	= 22.0 AMPS
TOTAL PROPOSED LOAD	= 22.0 AMPS
EXISTING PLUS PROPOSED LOAD	= 22.0 AMPS
REMAINING AVAILABLE LOAD	= 3.0 AMPS

**SIGNING CONSTRUCTION NOTES**

1. END OF ROAD BARRICADE, TYPE "A" (M.A.G. STD. DTL. #130)
2. R1-1 STOP SIGN & D3-1 STREET NAME SIGN
3. R2-1(25) SPEED LIMIT SIGN, 25 MPH
4. W1-4(1) LEFT LANE SHIFT SIGN
5. W4-2(1) LEFT MERGE SIGN
6. XX-X YIELD SIGN
7. XX-X PEDESTRIAN CROSSING

**SIGN SYMBOLS**

- 1. SIGN POST

**LEGEND**

- 1 1/4" STREET LIGHT CONDUIT
- PROPOSED 100 W HPS LUMINAIRE
- NO. 3-1/2" PULL BOX
- SERVICE PEDESTAL
- PROPOSED STREET SIGNS
- PROPOSED STOP SIGN W/ (2)
- STREET NAME SIGNS
- PROPOSED BARRICADE

**STIPING CONSTRUCTION NOTES**

1. SOLID YELLOW LINE
2. DOUBLE SOLID YELLOW LINE
3. BROKEN YELLOW WITH SOLID YELLOW LINE
4. 8" SOLID YELLOW LINE
5. 8" SOLID YELLOW LINE @ 45° SKEW AND 25' SPACING
6. SOLID WHITE LINE
7. BROKEN WHITE LINE
8. 8" SOLID WHITE LINE
9. 8" DOTTED WHITE LINE
10. 8" BROKEN WHITE LINE
11. 12" SOLID WHITE CROSSWALK
12. 24" SOLID WHITE CROSSWALK
13. 12" SOLID WHITE STOP LINE
14. 24" SOLID WHITE STOP LINE
15. 24" X 36" TRIANGULAR WHITE YIELD LINE

**PAVEMENT MARKING SYMBOLS**

- (ONLY) - DIRECTIONAL SYMBOL
- LEFT / THRU ARROW
- THRU ARROW
- TURN ARROW
- LANE MERGE ARROW

PRELIMINARY ISSUE FOR REVIEW  
NOT FOR CONSTRUCTION 10-18-05

SCALE (H) 1" = 40'  
SCALE (V) 1" = 4'  
DRAWN BY EMC  
CHECKED BY MPB  
DATE 8/08/05

5820 S. Eastern Avenue, Suite 200  
Las Vegas, Nevada 89119  
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**Stanley Consultants INC.**

RHODES HOMES ARIZONA, LLC  
GOLDEN VALLEY RANCH

WEST LOOP ROAD PHASE 1 IMPROVEMENT  
STIPING PLAN STA: 163+50.00 - 175+00.00  
MARICOPA COUNTY

SHEET  
**ST-3**  
3 OF 20 SHEETS

SCI PROJECT #  
18449.03.03

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